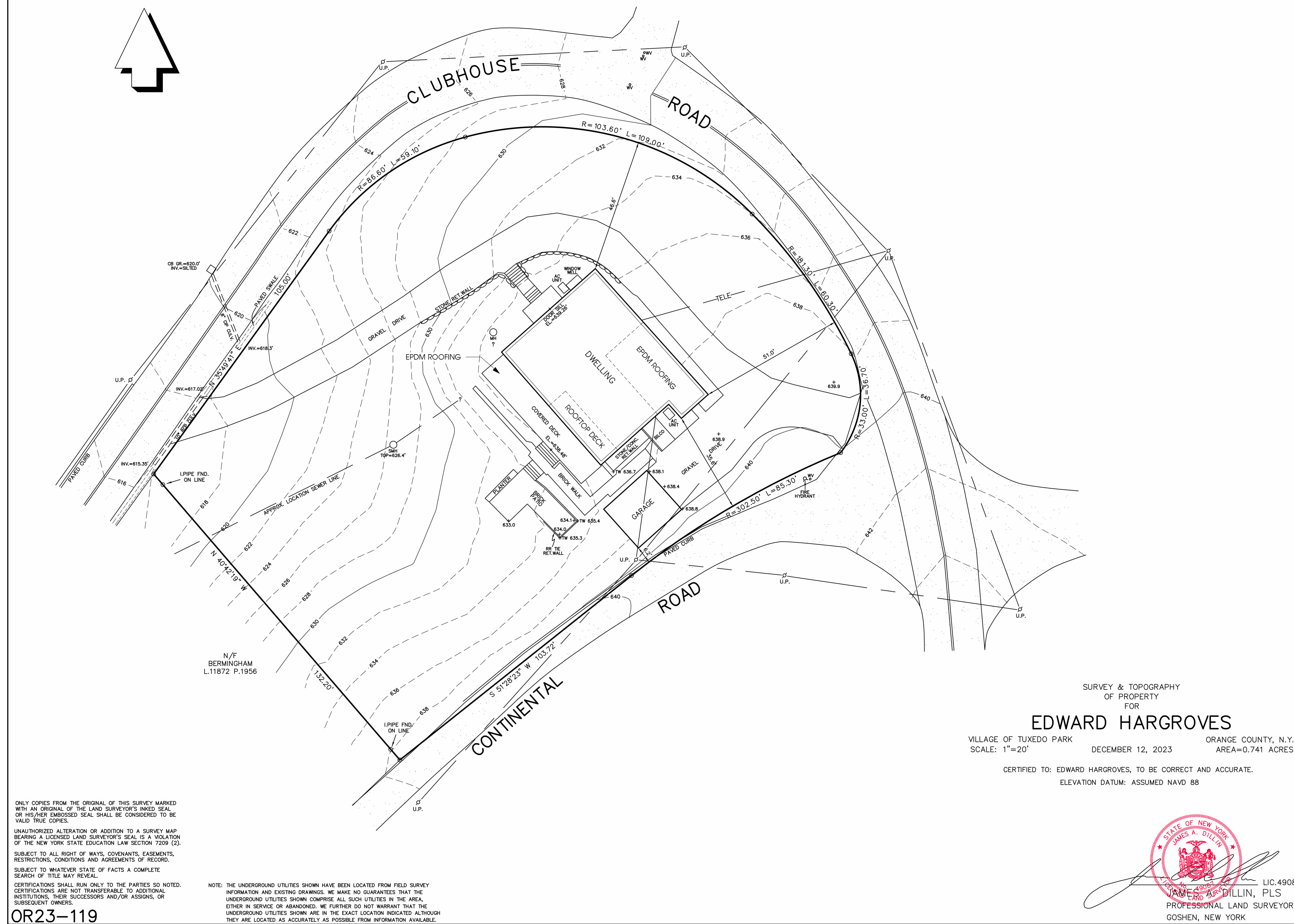


SECTION 107 BLOCK 1 LOT 23



SURVEY & TOPOGRAPHY
OF PROPERTY
FOR
EDWARD HARGROVES
VILLAGE OF TUXEDO PARK ORANGE COUNTY, N.Y.
SCALE: 1"=20' DECEMBER 12, 2023 AREA=0.741 ACRES
CERTIFIED TO: EDWARD HARGROVES, TO BE CORRECT AND ACCURATE.
ELEVATION DATUM: ASSUMED NAVD 88

JAMES A. DILLIN, PLS
PROFESSIONAL LAND SURVEYOR
GOSHEN, NEW YORK

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS/HER EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW SECTION 7209 (2).
SUBJECT TO ALL RIGHT OF WAYS, COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS OF RECORD.
SUBJECT TO WHATEVER STATE OF FACTS A COMPLETE SEARCH OF TITLE MAY REVEAL.
CERTIFICATIONS SHALL RUN ONLY TO THE PARTIES SO NOTED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS.

NOTE: THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. WE MAKE NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. WE FURTHER DO NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

OR23-119

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MASTER PLANNING
INTERIOR DESIGN



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10524

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NEW CONSTRUCTION
/ALTERATIONS FOR:
HARGROVES RESIDENCE
44 CLUBHOUSE ROAD
TUXEDO PARK, NY 10987
Proj. #23-029
Surveyor: James A. Dillin, PLS

UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 145, § 69.5b, IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT. IF ANY ITEM IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.
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EXISTING SITE
PLAN

SP-1

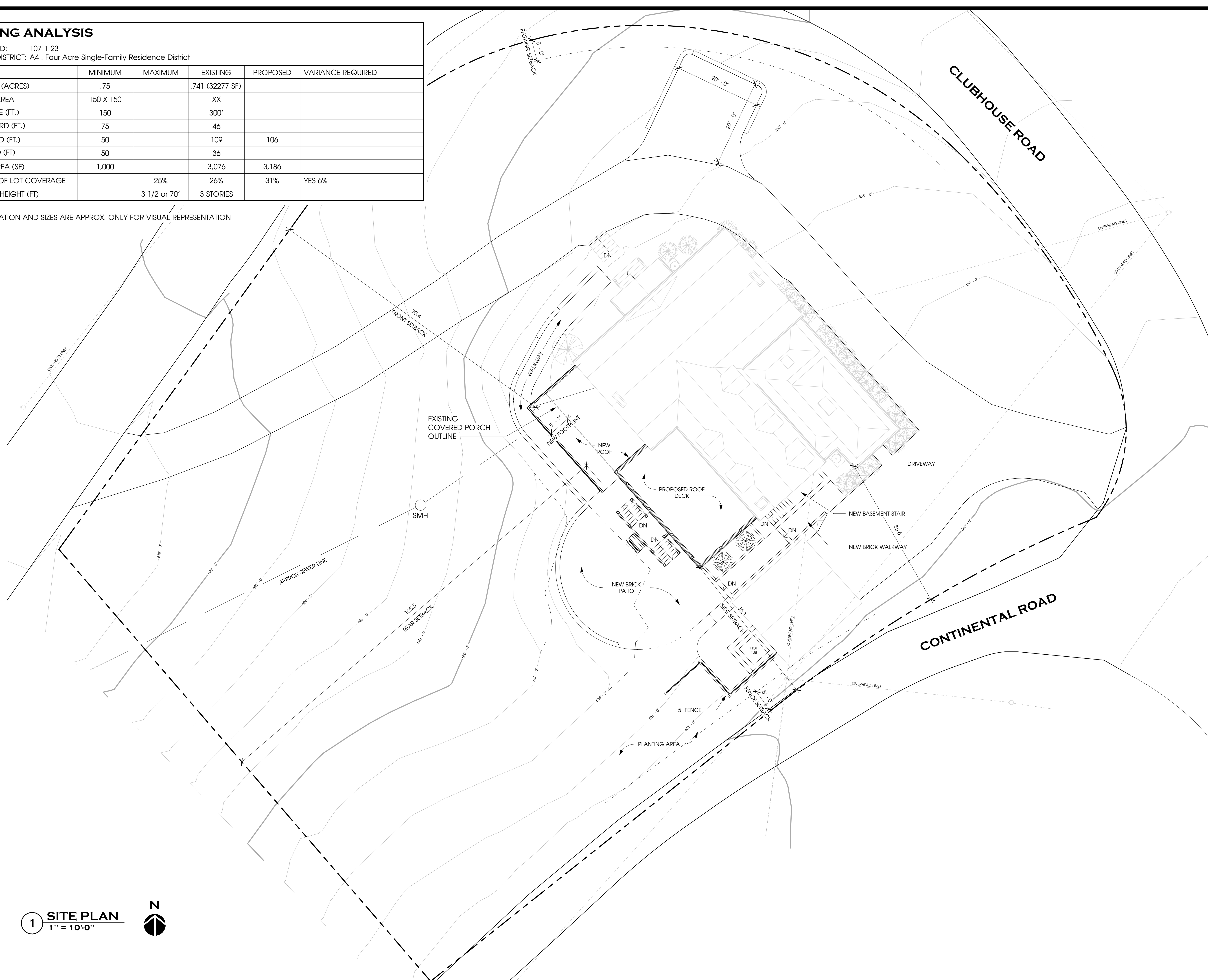
Proj. #23-029
HARGROVES RESIDENCE

ZONING ANALYSIS

TAX MAP ID: 107-1-23
 ZONING DISTRICT: A4, Four Acre Single-Family Residence District

	MINIMUM	MAXIMUM	EXISTING	PROPOSED	VARIANCE REQUIRED
LOT AREA (ACRES)	.75		.741 (32277 SF)		
SQUARE AREA	150 X 150		XX		
FRONTAGE (FT.)	150		300'		
FRONT YARD (FT.)	75		46		
REAR YARD (FT.)	50		109	106	
SIDE YARD (FT)	50		36		
FLOOR AREA (SF)	1,000		3,076	3,186	
PERCENT OF LOT COVERAGE		25%	26%	31%	YES 6%
BUILDING HEIGHT (FT)		3 1/2 or 70'	3 STORIES		

TREE LOCATION AND SIZES ARE APPROX. ONLY FOR VISUAL REPRESENTATION



1 SITE PLAN
 1" = 10'-0"



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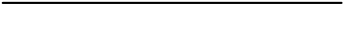

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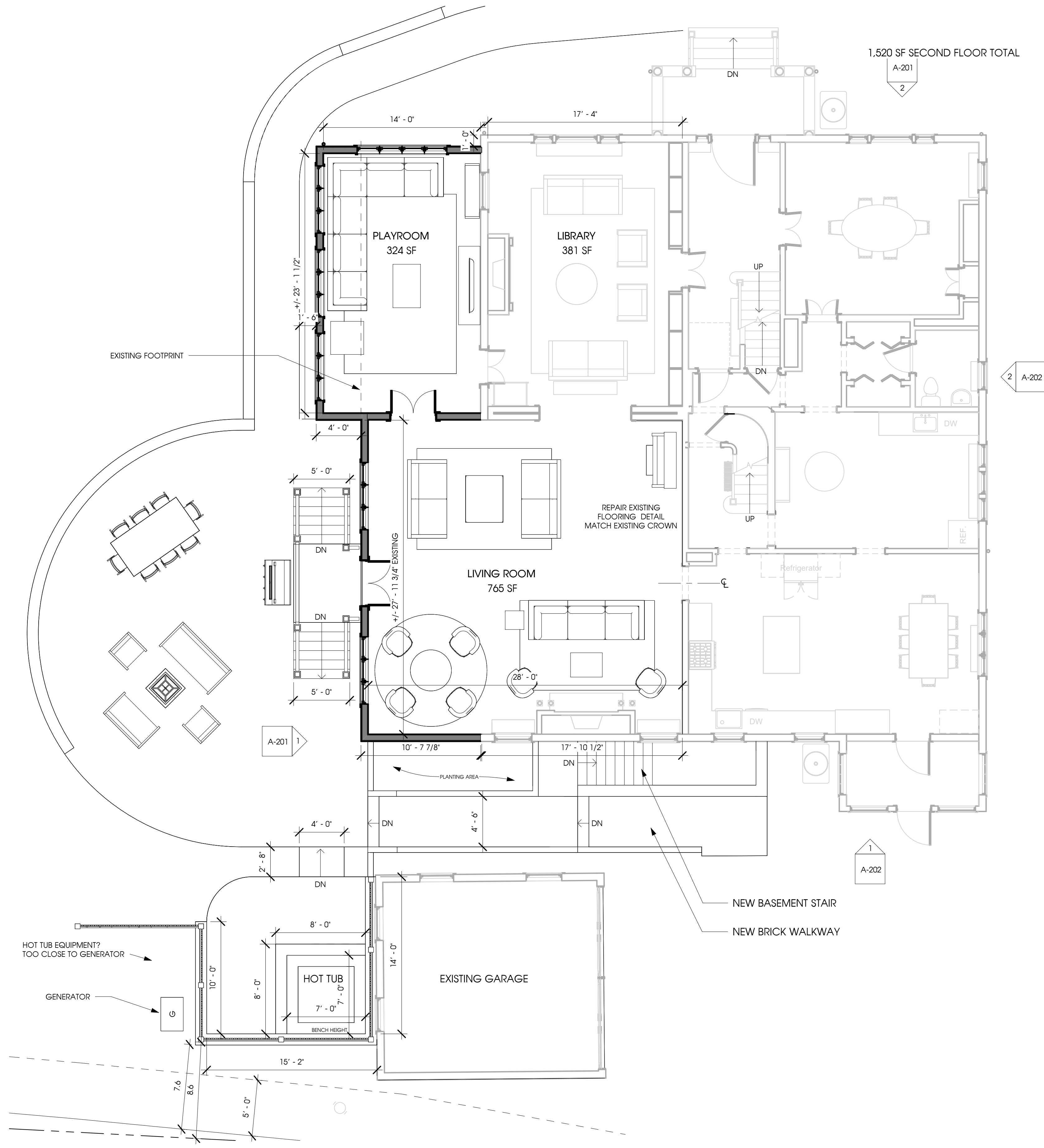
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PROPOSED SITE
 PLAN

SP-2

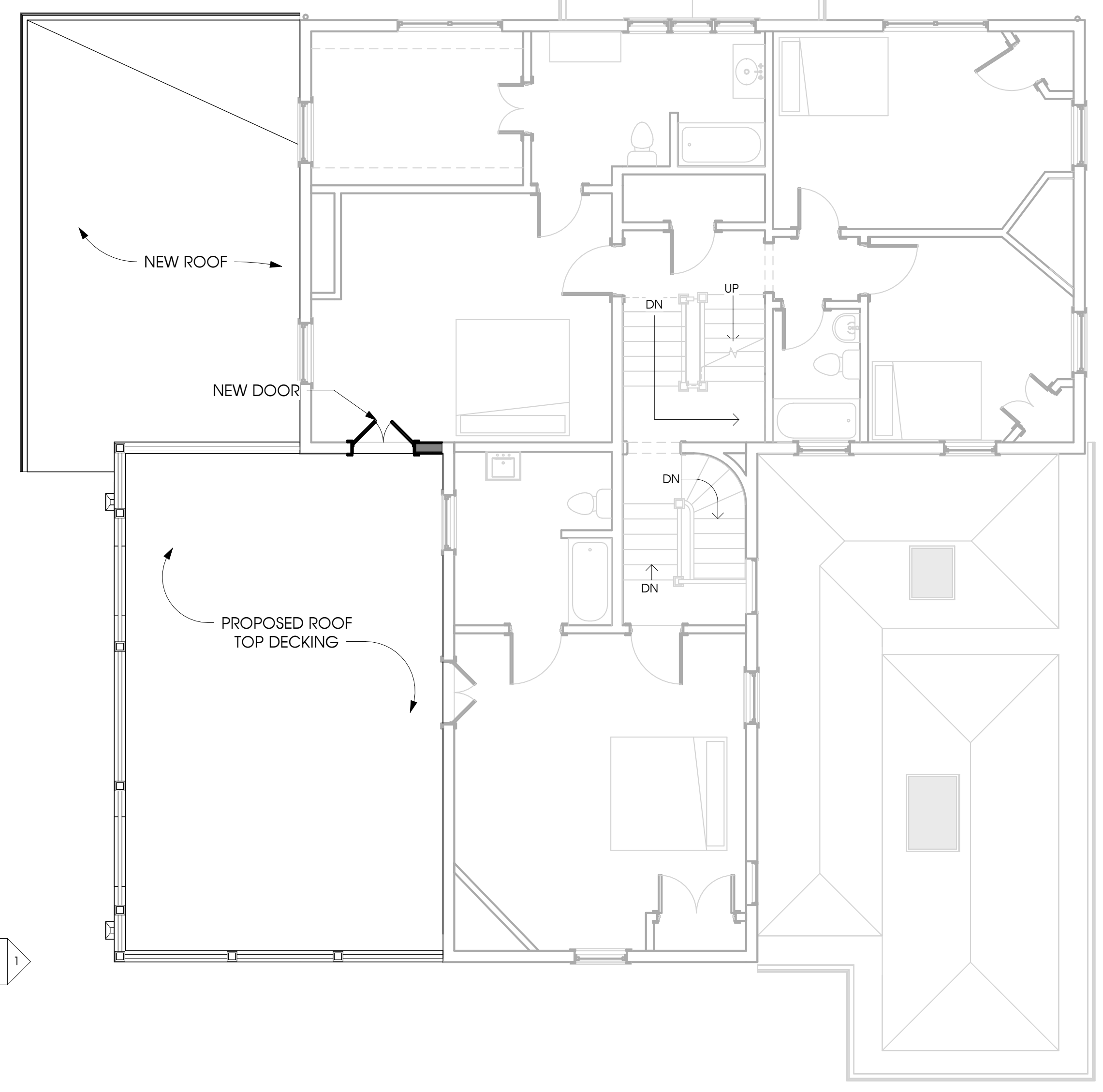
Proj. #23-029
 HARGROVES RESIDENCE

WALL LEGEND	
EXISTING WALL TO REMAIN	
NEW WALLS	



1 FIRST FLOOR PLAN
3/16" = 1'-0"

1,520 SF SECOND FLOOR TOTAL



2 SECOND FLOOR PLAN
3/16" = 1'-0"

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FLOOR PLANS

A-102

Proj. #23-029
HARGROVES RESIDENCE



1 PROPOSED - WEST ELEVATION
3/16" = 1'-0"



EXISTING - WEST ELEVATION



2 PROPOSED - NORTH ELEVATION
3/16" = 1'-0"



EXISTING - NORTH ELEVATION



EXISTING - NORTH / WEST ELEVATION

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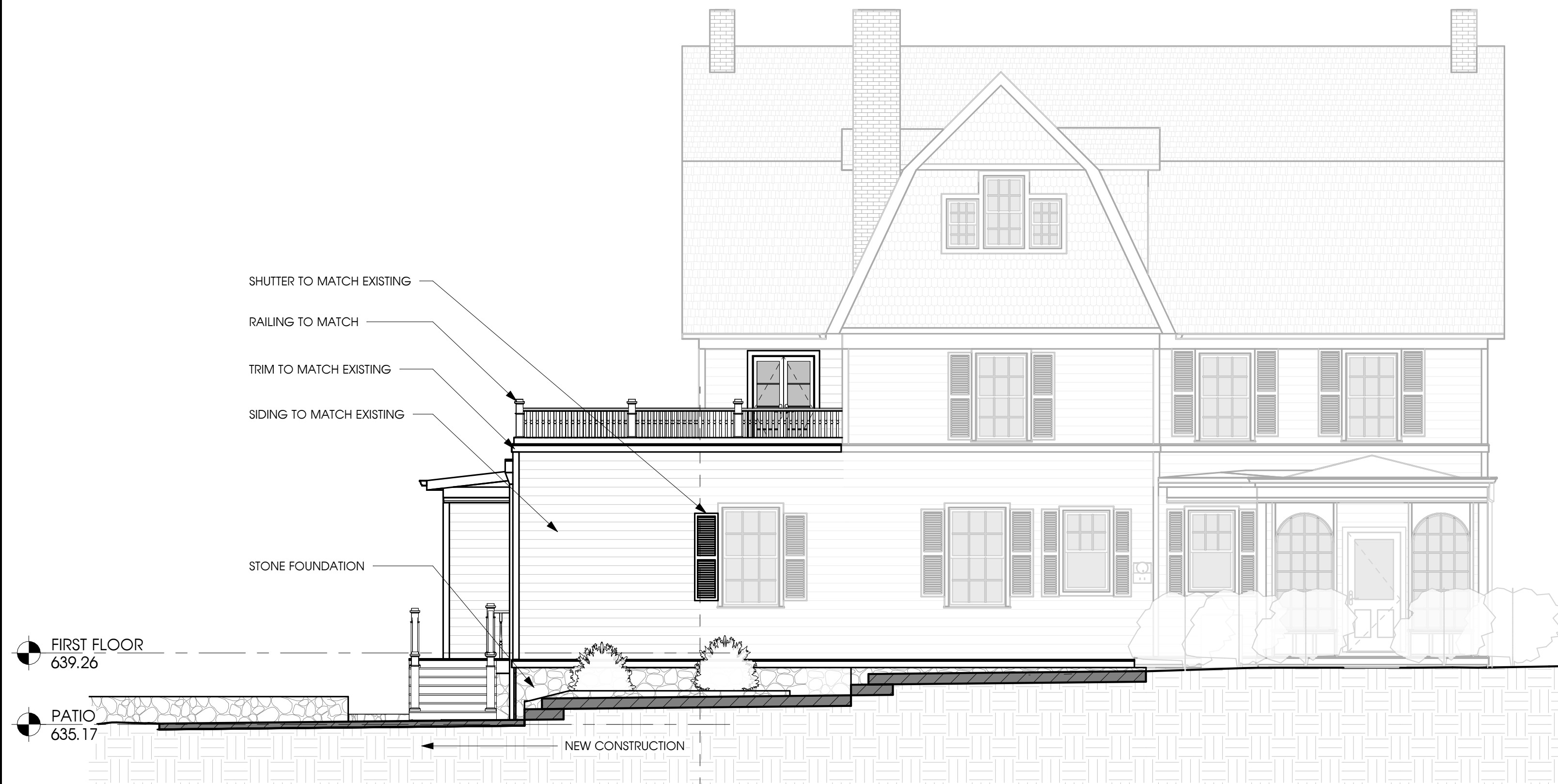
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EXTERIOR
ELEVATIONS

A-201

Proj. #23-029
HARGROVES RESIDENCE



1 PROPOSED - SOUTH ELEVATION
3/16" = 1'-0"



EXISTING - SOUTH ELEVATION

EXISTING - SOUTH ELEVATION



2 PROPOSED - EAST ELEVATION
3/16" = 1'-0"



EXISTING - EAST ELEVATION

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EXTERIOR
ELEVATIONS

A-202

Proj. #23-029
HARGROVES RESIDENCE



1 PROPOSED - WEST PERSPECTIVE



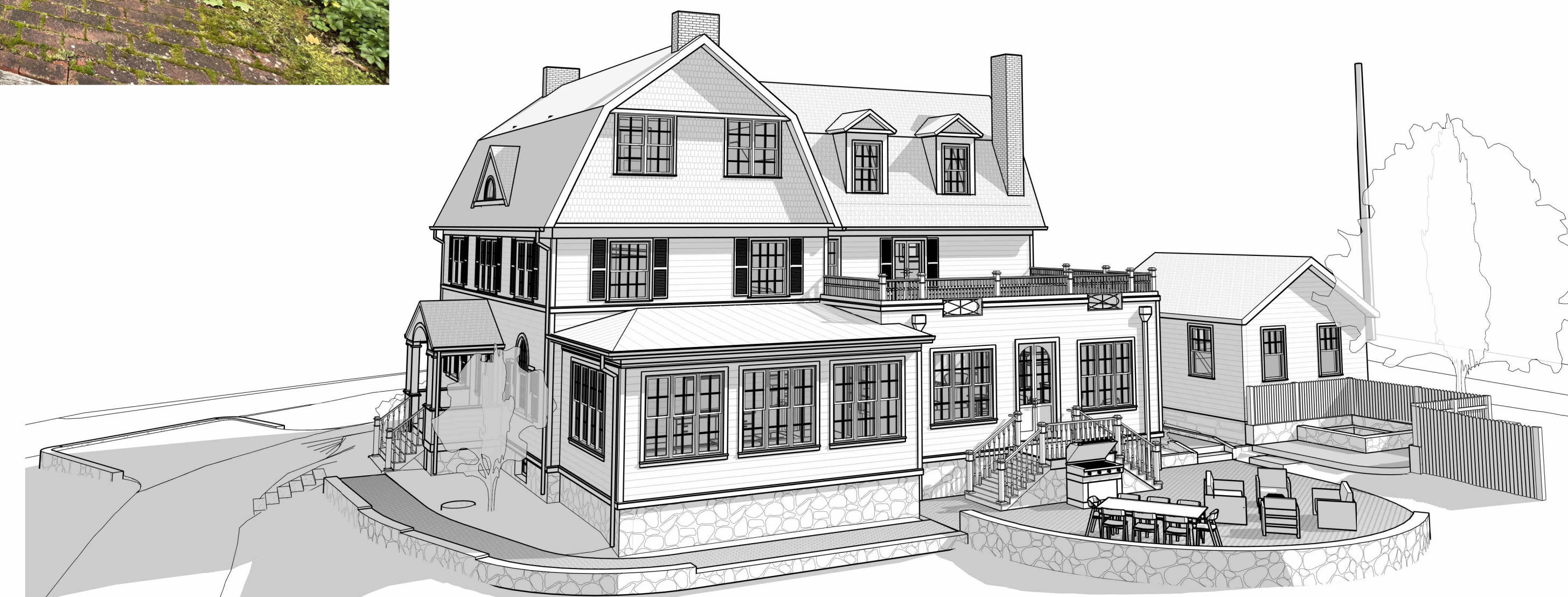
EXISTING - WEST



2 PROPSOED - REAR PATIO



EXISTING - REAR PATIO



3 PROPOSED - PERSPECTIVE

EXISTING TREE LOCATION AND SIZES ARE APPROX. ONLY FOR VISUAL REPRESENTATION

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EXTERIOR
PERSPECTIVES

A-901

Proj. #23-029
HARGROVES RESIDENCE