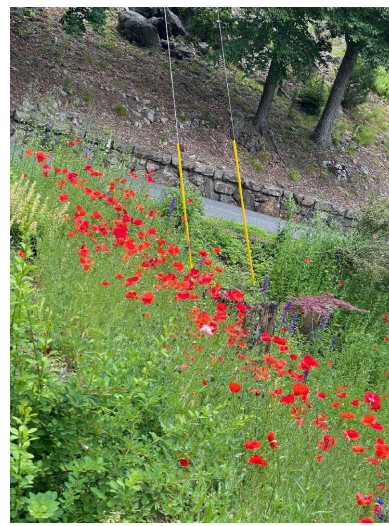
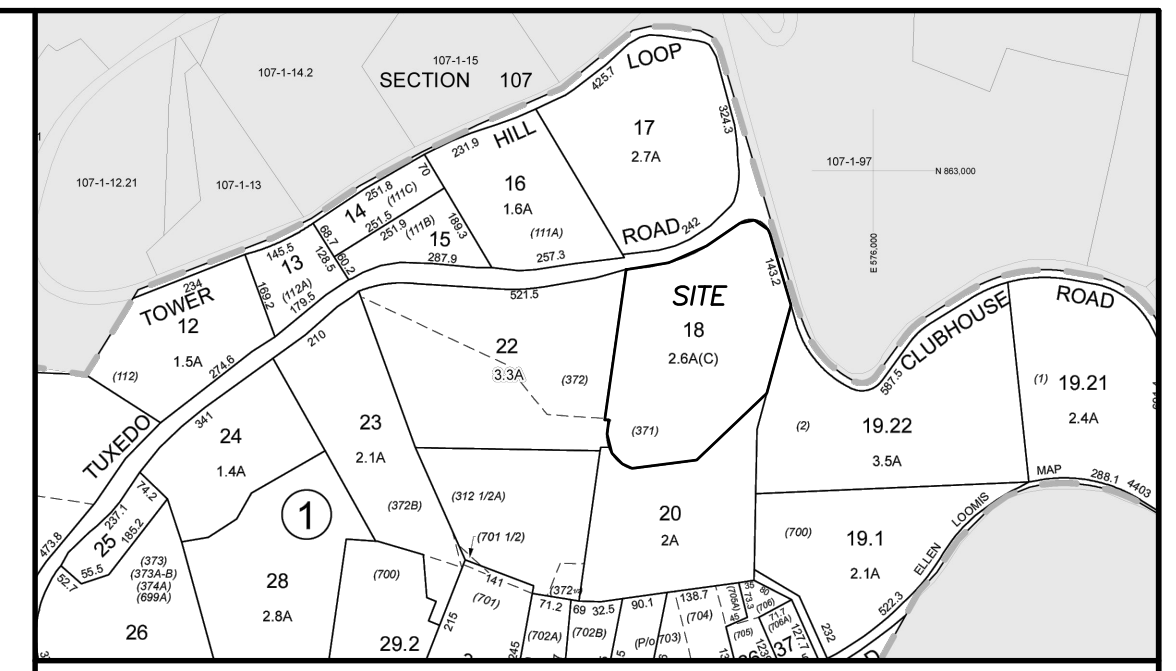
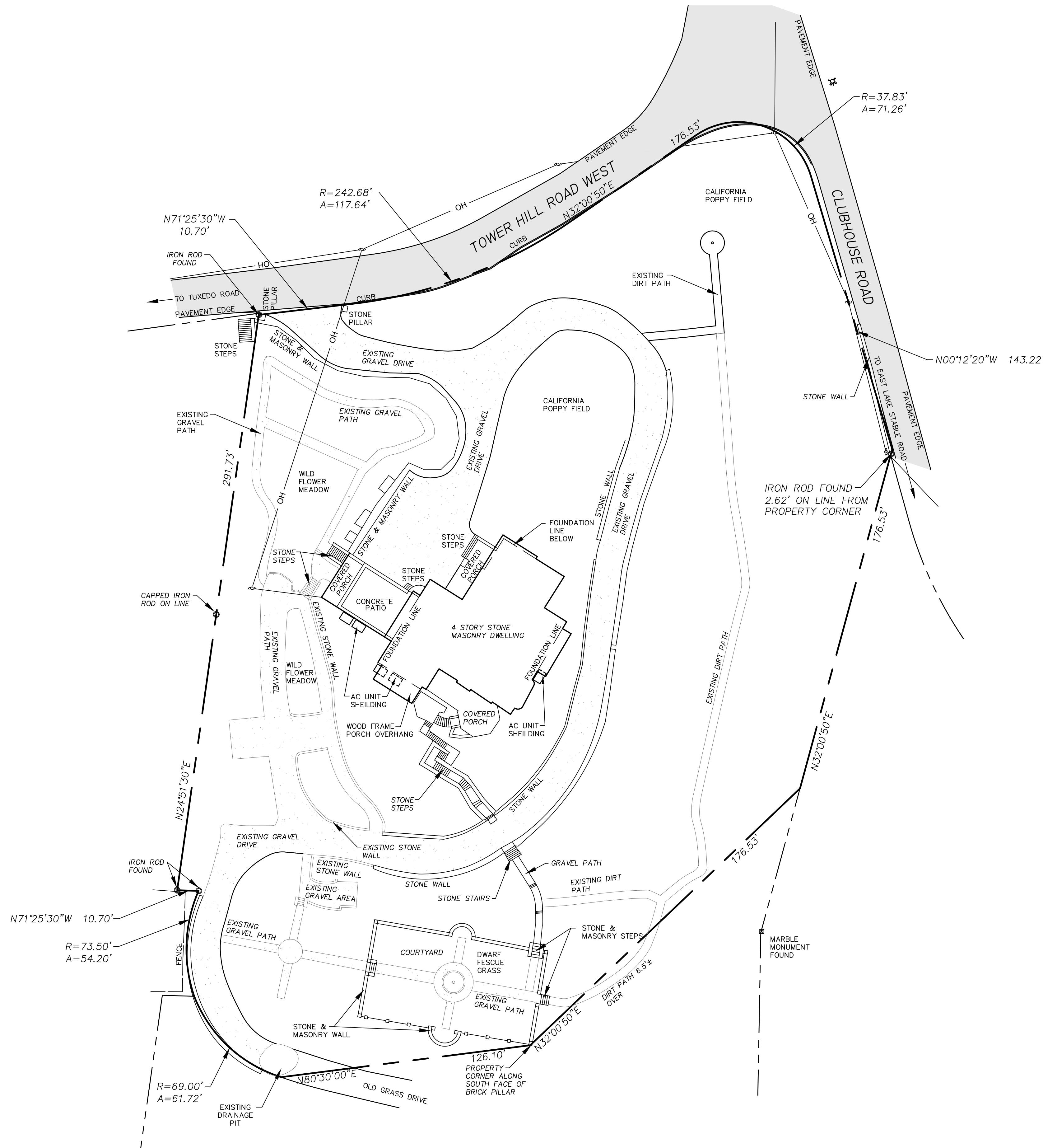


NOTES:
ALL GRAVEL PATHS AND DRIVEWAY TO USE A MIX OF 75% RIVER ROCK GRAVEL AND 25% BLUE STONE



CALIFORNIA POPPY (ESCHSCHOLZIA)



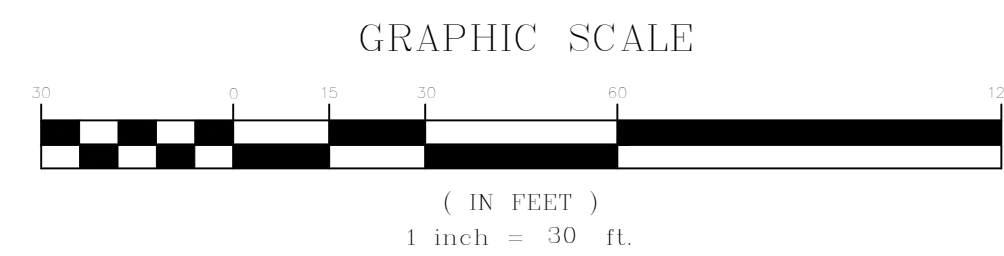
LOCATION MAP
N.T.S.

REFERENCE
TAX MAP DATA: SECTION 106 BLOCK 1 LOT 18
DEED LIBER: 15215, PAGE: 417
A SURVEY MAP ENTITLED "SURVEY PREPARED FOR LISA HARTMAN-TING, TRUSTEE" COMPLETED BY LANC & TULLY ENGINEERING AND SURVEYING ON NOVEMBER 15, 2019.

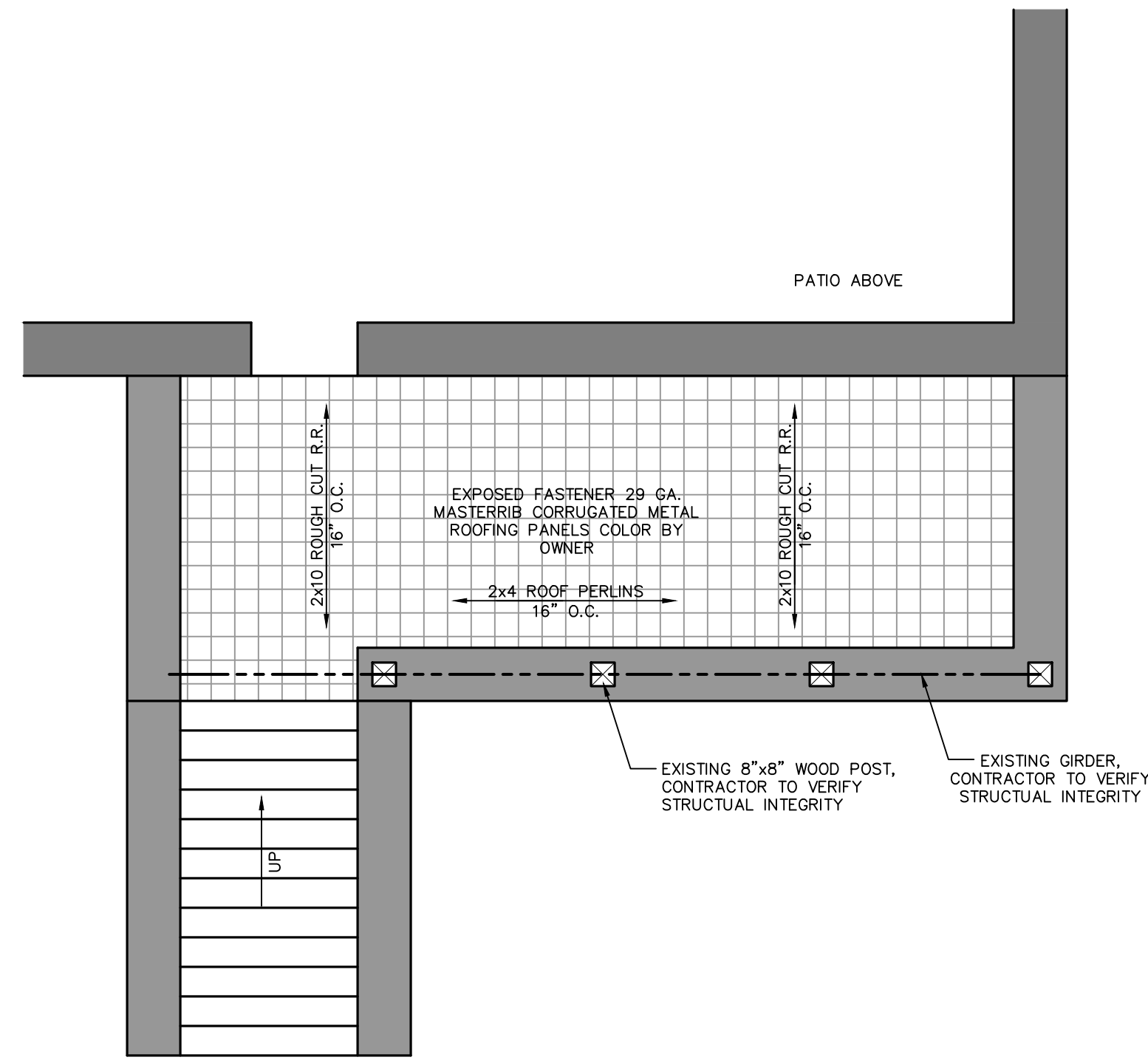
LEGEND

- IRON PIPE FOUND
 - ⊗ MARBLE MONUMENT FOUND
 - ⊕ UTILITY POLE
 - ⊗ WATER VALVE
 - ⊗ GAS VALVE
 - ⊕ E.M. ELECTRIC METER
 - ⊕ G.M. GAS METER
 - ⊕ SANITARY MANHOLE
 - ⊕ DRAINAGE MANHOLE
 - ⊕ WATER SHUTOFF VALVE
 - ⊕ CATCH BASIN
 - ⊕ HYDRANT
 - ⊕ TREE
- PROPERTY LINE
--- ADJOINER PROPERTY LINE
--- METAL FENCE
--- WATER LINE
--- SEWER LINE
--- GAS LINE
--- OVERHEAD UTILITIES

GENERAL NOTES:
SUB-SURFACE STRUCTURES WHERE NOT VISIBLE OR READILY APPARENT, WILL NOT BE SHOWN AND THEIR EXTENT WILL NOT BE CERTIFIED.
THE OFFSETS FROM PROPERTY LINES SHOWN HEREON ARE NOT INTENDED TO GUIDE IN THE ERECTION OF POLES, FENCES, RETAINING WALLS, BUILDING ADDITIONS, OR ANY OTHER STRUCTURES OR PLANTINGS AND SHOULD NOT BE USED FOR SUCH PURPOSES.
SUBJECT TO ANY UNWRITTEN AND/OR WRITTEN LICENSES, EASEMENTS, RESTRICTIONS, AND/OR AGREEMENTS.
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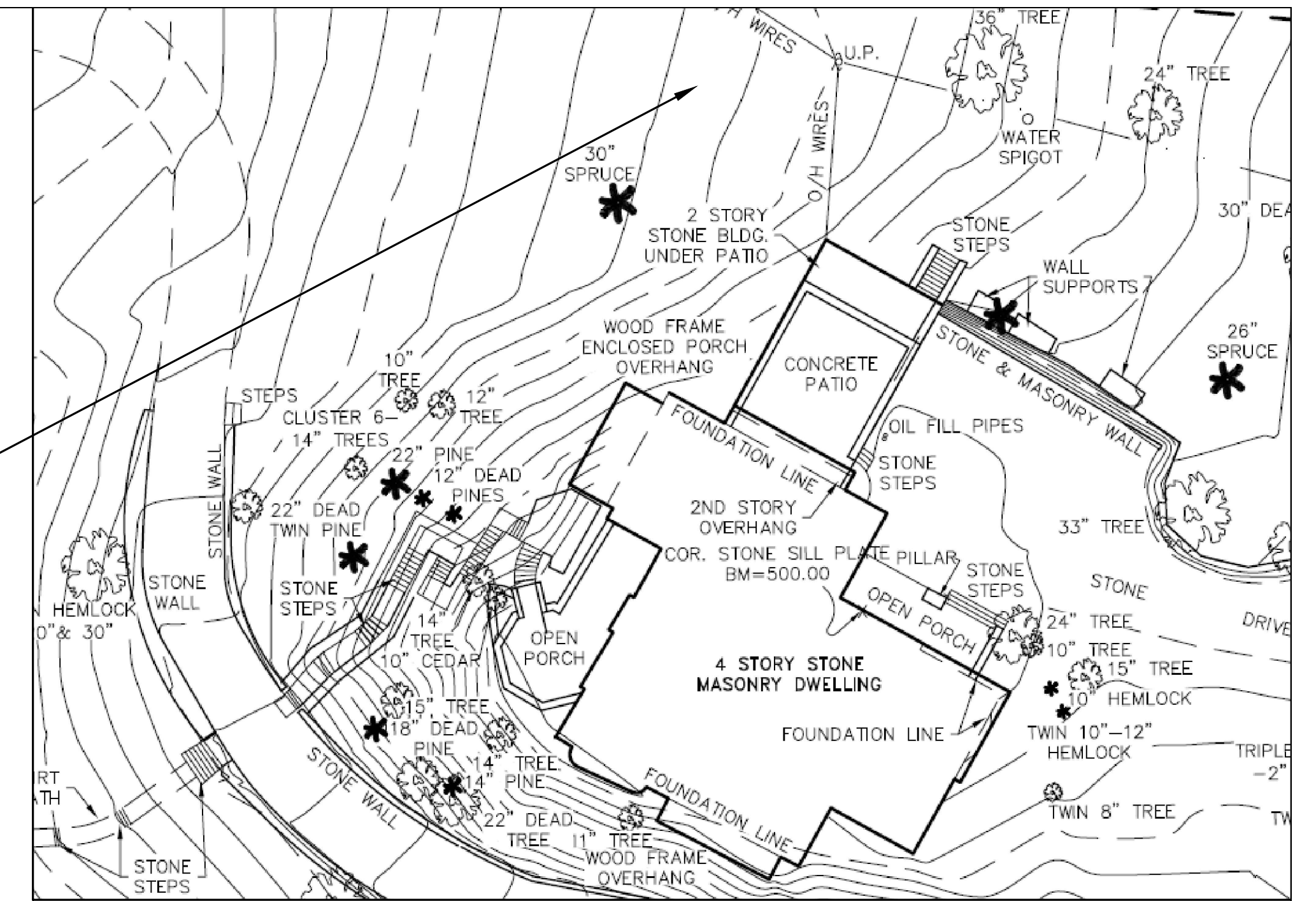
INITIALS	DATE	ISSUED FOR
UNAUTHORIZED ALTERATION OR ADDITION TO A MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS MAP NOT HAVING THE SEAL OF THE LAND SURVEYOR SHALL NOT BE VALID. THIS MAP MAY NOT BE USED FOR OTHER PURPOSES OR TRANSACTIONS. THIS MAP IS COPYRIGHTED BY FUSCO ENGINEERING & LAND SURVEYING, P.C., AND MAY NOT BE SOLD, RENTED, LEASED, PHOTOCOPIED, TRACED, ENLARGED, REDUCED, OR TRANSFERRED IN ANY OTHER WAY WITHOUT THE PRIOR WRITTEN CONSENT OF FUSCO ENGINEERING & LAND SURVEYING, P.C. ONLY COPIES OF THIS MAP BEARING THE ORIGINAL SEAL OF NEW YORK STATE LICENSED ENGINEER OR LAND SURVEYOR ARE VALID. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.		
FUSCO ENGINEERING & LAND SURVEYING, D.P.C. CONSULTING ENGINEERS 233 EAST MAIN ST. MIDDLETOWN, NY 10940 PHONE: (845) 344-5863 FAX: (845) 956-5865		
PROJECT TITLE: EXISTING CONDITIONS SITE PLAN OF PROPERTY FOR VICTORIA ALBERTA		
VILLAGE OF TUXEDO PARK	APPROVED BY: EJ	SCALE: 1"=30'
PREPARED FOR: VICTORIA ALBERTA	REVIEWED BY: EJ	REVISION DATE: 5/13/23
	DRAWN BY: NM	DATE: 5/13/23
		ADDRESS OF PROPERTY: 116 TOWER HILL ROAD WEST VILLAGE OF TUXEDO PARK ORANGE COUNTY NEW YORK
		STATE OF NEW YORK COUNTY OF ORANGE
		REFERENCE NUMBER: 22-332
		SHEET NUMBER: 1
		PAGE 1 OF 1



NORTHWEST COVERED PORCH PLAN

SCALE: 1/4" = 1'-0"

NORTHWEST COVERED PORCH



VIEW 'A' ENTRY TO TERRACE

SCALE: N.T.S.



VIEW 'B' FRONT ELEVATION

SCALE: N.T.S.



VIEW 'C' SIDE ELEVATION

SCALE: N.T.S.

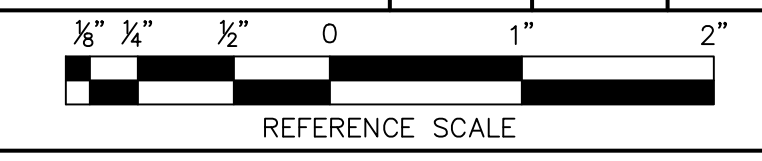
NOTE:
CONTRACTOR TO REUSE EXISTING MATERIAL. CONSULT THIS ENGINEER TO DETERMINE STRUCTURE INTEGRITY. ALL RECONSTRUCTION SHALL BE PERIOD CORRECT. CONTRACTOR TO DOCUMENT ALL WOOD CLADDING ASSEMBLIES PRIOR TO REMOVAL.

GENERAL SPECIFICATIONS

- ALL WORK PERFORMED SHALL COMPLY WITH BUILDING AND ZONING ORDINANCE OF THE LOCAL AUTHORITY HAVING JURISDICTION, AND THE LATEST ADDITION OF THE IRC AND ALL APPLICABLE SUPPLEMENTAL CODES.
 - CONTRACTOR OR ANY SUBCONTRACTOR DOING ANY WORK UNDER THIS CONTRACT SHALL CARRY LIABILITY AND PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ALL KINDS AND SHALL FURNISH OWNER WITH CERTIFICATES OF INSURANCE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS ON THESE PLANS AGAINST FIELD CONDITION PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER. ALL DIMENSIONS AND LOCATIONS AS-INDICATED ON THE DRAWINGS SHALL BE CONSIDERED AS REASONABLY CORRECT BUT IT SHALL BE UNDERSTOOD THAT THEY ARE SUBJECT TO MODIFICATION AS MAY BE NECESSARY OR DESIRABLE AT THE TIME OF INSTALLATION TO MEET ANY UNFORESEEN OR OTHER CONDITION.
 - ALL LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND DRY MATERIALS FREE FROM: ROT, LARGE & LOOSE KNOTS, SHAKES AND OTHER IMPERFECTIONS WHEREBY THE STRENGTH MAY BE IMPAIRED AND OF SIZES INDICATED ON DRAWINGS. STUDS, SILLS, POSTS, LINTELS AND RAFTERS SHALL HEM-FIR (19% MAX. MOISTURE CONTENT) ALLOWING 75% NO. 1 GRADE AND 25% NO. 2 GRADE EXCEPT IF NOTED OTHERWISE HEREINAFTER IN THIS SPEC OR ON THE DRAWINGS.
 - THE MINIMUM UNIT STRESS OF SPRUCE-PINE-FIR SHALL BE:
GRADE: No. 1/ No. 2
FIBER STRESS (FB) 875 PSI
HORIZONTAL SHEAR (FV) 70 PSI
MODULE OF ELASTICITY (E) 1.4 PSI
 - THE MINIMUM UNIT STRESS OF DOUGLAS-FIR SHALL BE:
GRADE: No. 1/ No. 2
FIBER STRESS (FB) 825 PSI
HORIZONTAL SHEAR (FV) 70 PSI
MODULE OF ELASTICITY (E) 1.4 PSI
 - THE MINIMUM UNIT STRESS OF HEM-FIR SHALL BE:
GRADE: No. 1/ No. 2
FIBER STRESS (FB) 1000 PSI
HORIZONTAL SHEAR (FV) 75 PSI
MODULE OF ELASTICITY (E) 1.6 PSI
- CALCULATED DESIGN LOADS (ADD 10 PSF DEAD LOAD ALL SPANS EXCEPT ROOFS).
- ROOF 50 PSF SNOW LOAD
FLOORS 40 PSF LIVE LOAD
BEDROOMS & ATTICS 30 PSF LIVE LOAD
DECKS 50 PSF LIVE LOAD
GUARDRAILS & HANDRAILS 200 PSF HORIZONTAL POINT LOAD

"THESE PLANS AND SPECIFICATIONS ARE PREPARED IN ACCORDANCE WITH THE APPLICABLE STATE BUILDING CODES IN FORCE AT THE DATE NOTED IN THE TITLE BLOCK. IF THE CODES ARE AMENDED OR CHANGED BETWEEN THIS DATE AND THE BUILDING PERMIT DATE, THESE PLANS MUST BE REVIEWED AND REVISED AS APPLICABLE BY FUSCO ENGINEERING TO CONFORM TO THESE NEW CODES. IN ADDITION, IN NO CASE SHOULD THESE PLANS AND SPECIFICATIONS BE USED TO OBTAIN A BUILDING PERMIT MORE THAN ONE YEAR AFTER THE DATE NOTED IN THE TITLE BLOCK WITHOUT A FULL REVIEW BY FUSCO ENGINEERING AND REVISION OF THE DESIGN AS NECESSARY TO CONFORM TO NEW CODES AND STANDARDS."

REV #	DATE	REMARKS:	ISSUE #	DATE	ISSUED FOR:



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FUSCO ENGINEERING & LAND SURVEYING, P.C.
CONSULTING ENGINEERS

685 EAST MAIN ST.
MIDDLETOWN, NY 10940

PHONE: (845) 844-8888
FAX: (845) 866-8885

PROJECT TITLE: **116 TOWER HILL RD**
Alberta Residence
Tuxedo Park NY

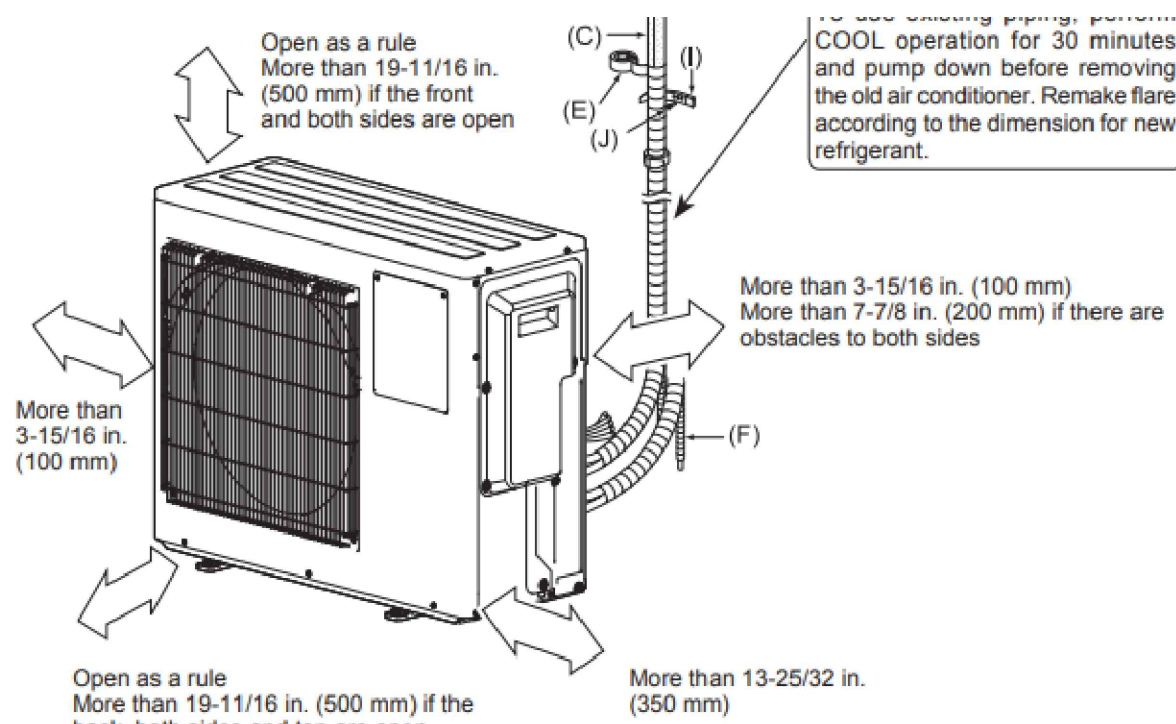
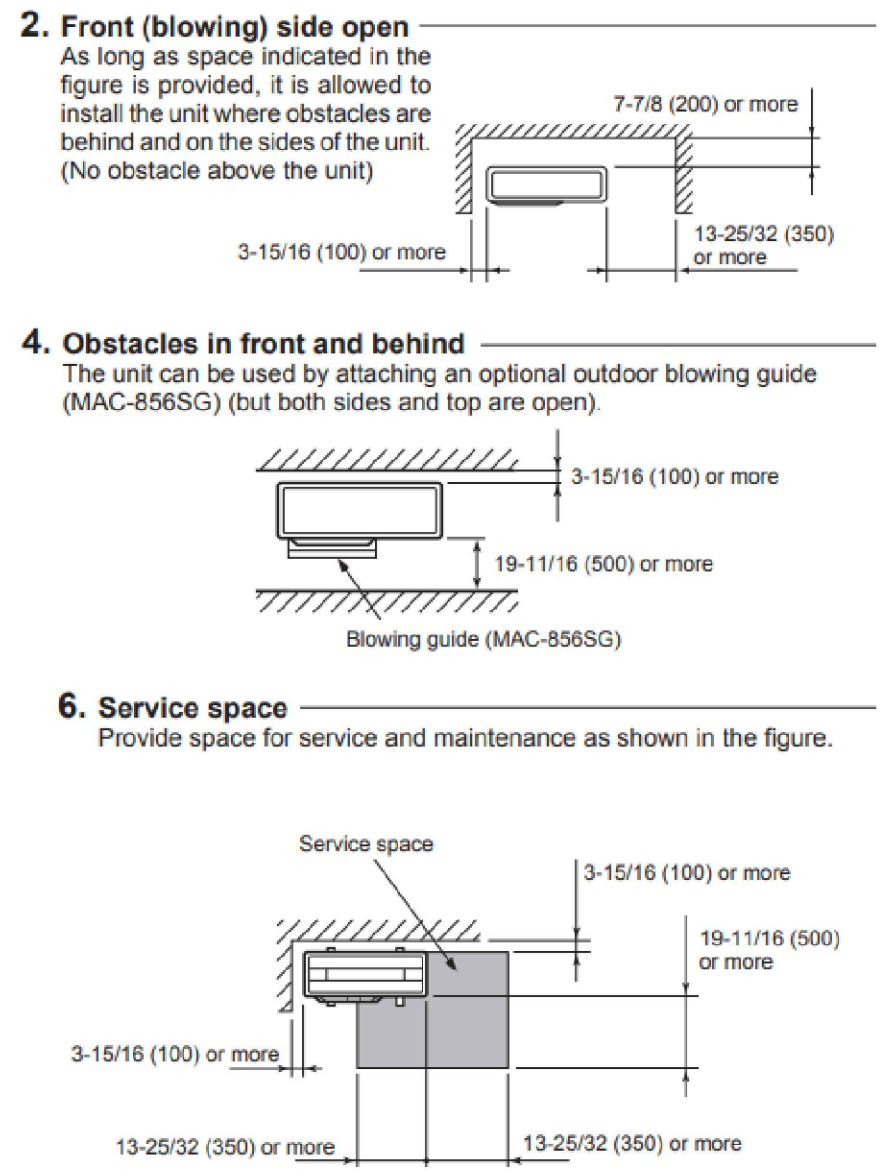
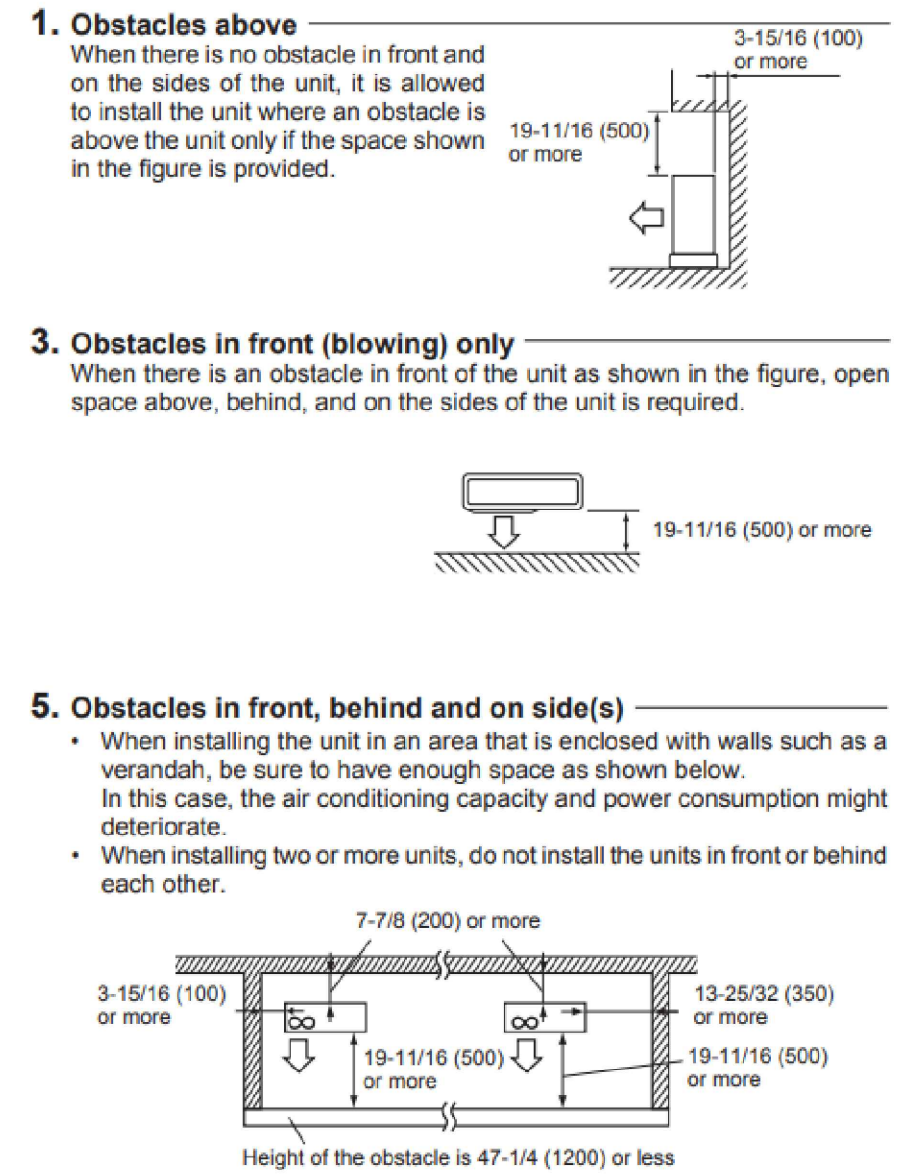
DRAWING TITLE: **NORTHWEST COVERED PORCH REPAIR**

DESIGNED BY: AFF
DRAWN BY: JH
APPROVED BY: AFF
DATE: 6/26/23
SCALE: AS SHOWN
FE PROJECT #: 22-332

SEAL: [Professional Engineer Seal]

A-1
PAGE 1 OF 2

FREE SPACE REQUIRED AROUND OUTDOOR UNIT

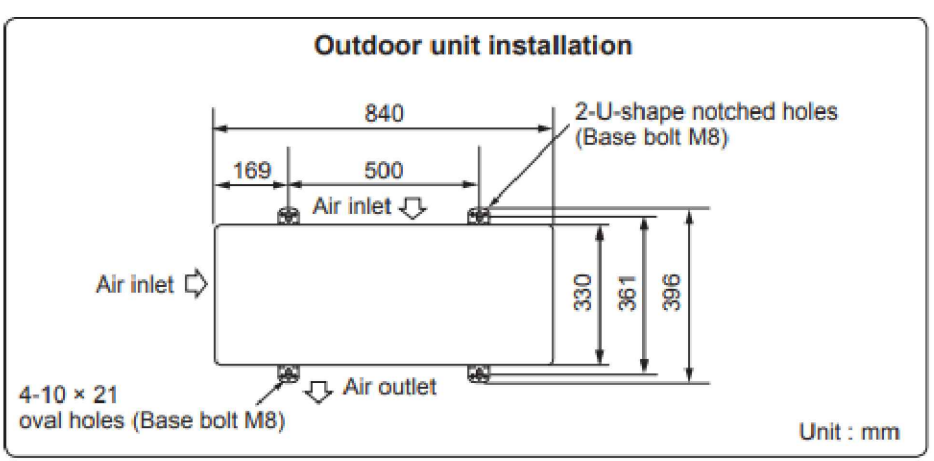
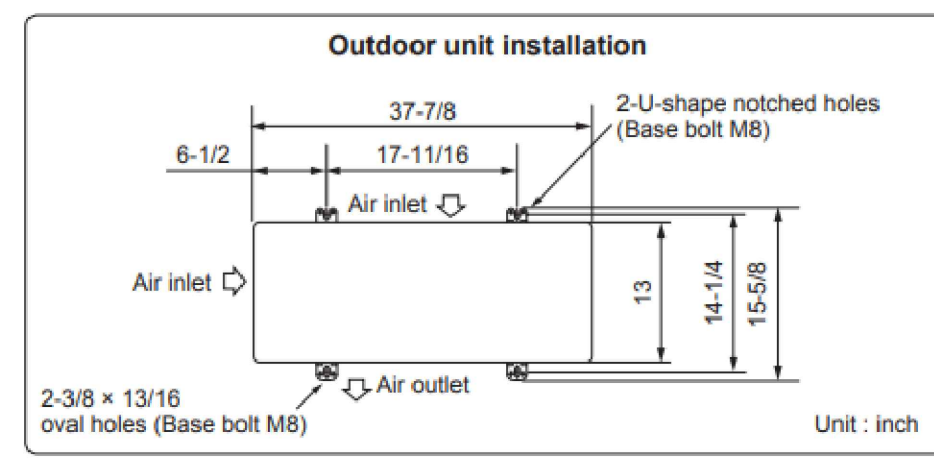


QTY	DESCRIPTION
1	(H) Putty
2 to 7	(I) Pipe fixing band
2 to 7	(J) Fixing screw for (I)
1	(K) Wall hole sleeve
1	(L) Soft PVC hose, 15 mm inner diameter or hard PVC pipe VP16 for drain socket (1)

*** Note:**
Place indoor/outdoor unit connecting wire (B) and power supply cord (A) at least 3 ft. (1 m) away from the TV antenna wire.

The "Qty" for (B) to (K) in the above table is quantity to be used per indoor unit.

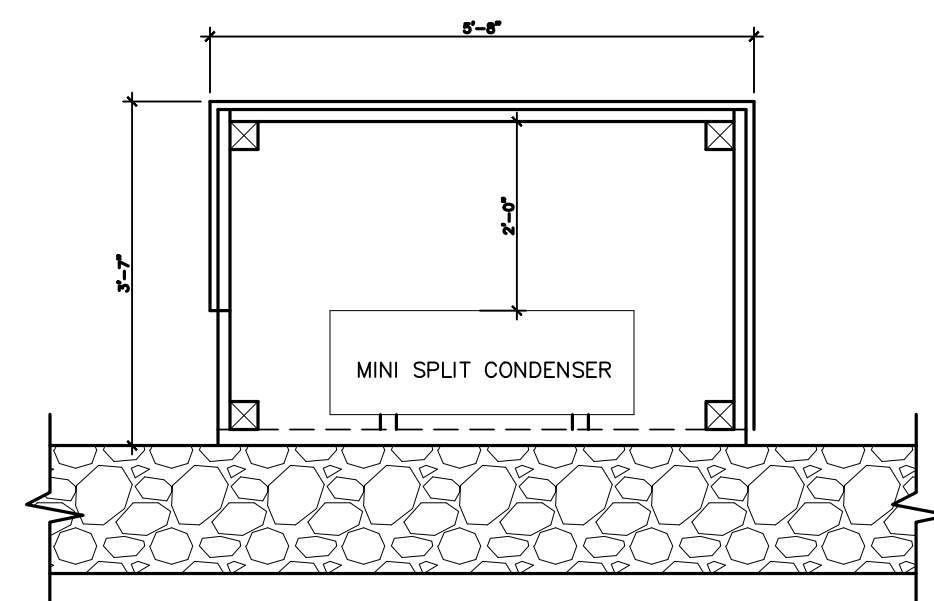
Units should be installed by licensed contractor according to local code requirements.



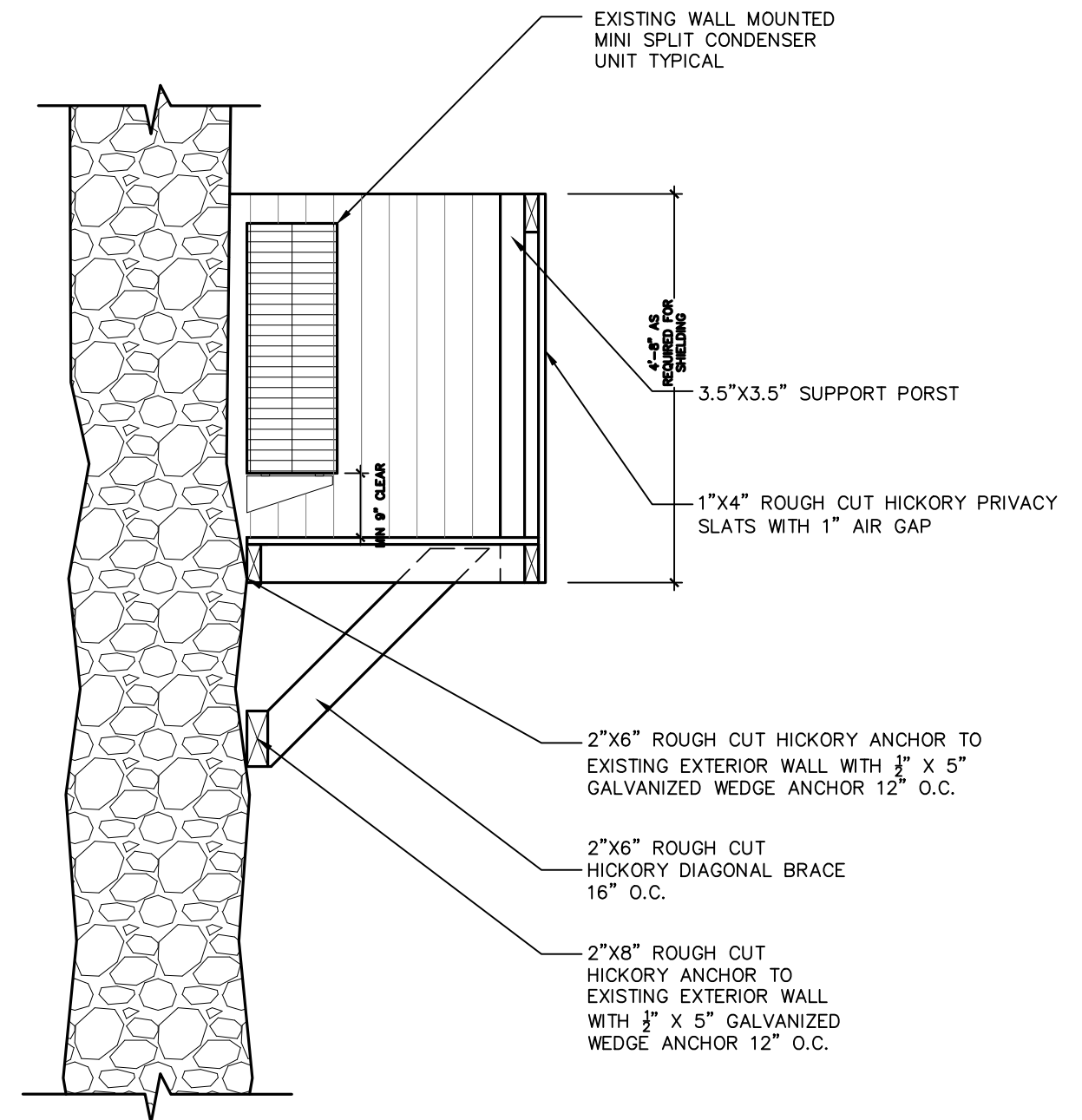
TYPICAL CONDENSER CLEARANCES
SCALE: N.T.S.

TYPICAL CONDENSER SIZE AND AIR FLOW
SCALE: N.T.S.

TYPICAL CONDENSER UNIT ASBUILT CONDITIONS
SCALE: N.T.S.



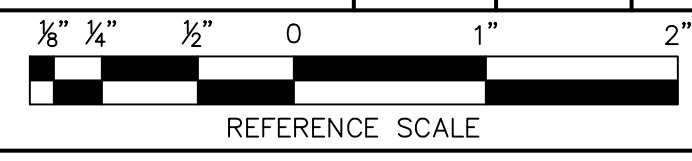
TYPICAL CONDENSER UNIT SHIELDING PLAN VIEW
SCALE: N.T.S.



TYPICAL CONDENSER UNIT SHIELDING ELEVATION
SCALE: N.T.S.

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REV #	DATE	REMARKS:	ISSUE #	DATE	ISSUED FOR:



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CONSULTING ENGINEERS

800 EAST MAIN ST.
MIDDLETOWN, NY 10940

PHONE: (845) 944-8883
FAX: (845) 966-8885

PROJECT TITLE: **116 TOWER HILL RD**
Alberta Residence
Tuxedo Park NY

DRAWING TITLE: **WALL MOUNTED CONDENSER SHIELDING PLAN**

DESIGNED BY: AFF
DRAWN BY: JH
APPROVED BY: AFF

DATE: 6/26/23
SCALE: AS SHOWN
FE PROJECT #: 22-332

SEAL: [Professional Engineer Seal]

PAGE 2 OF 2