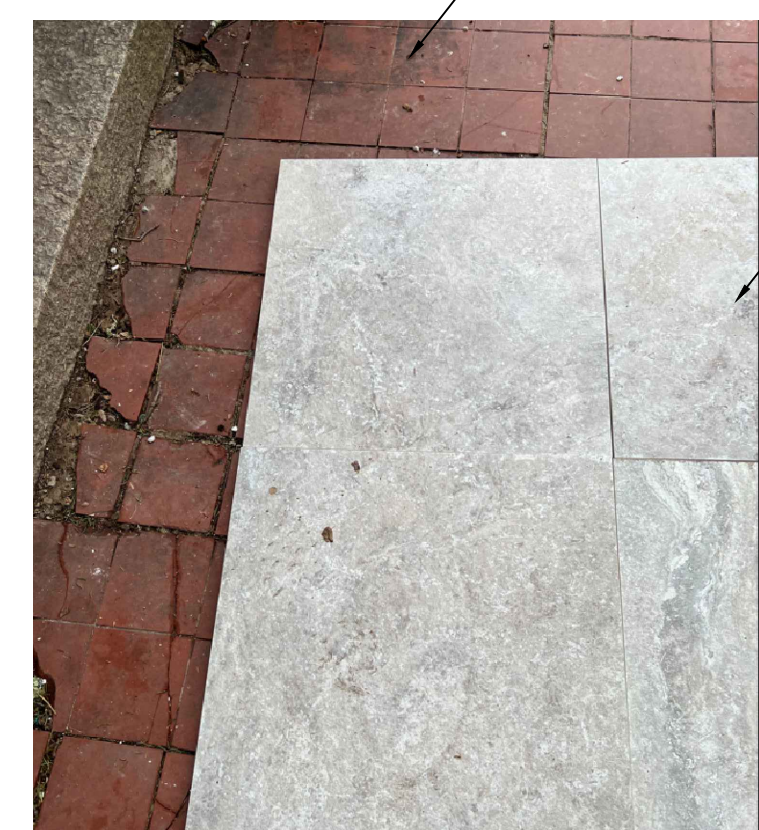


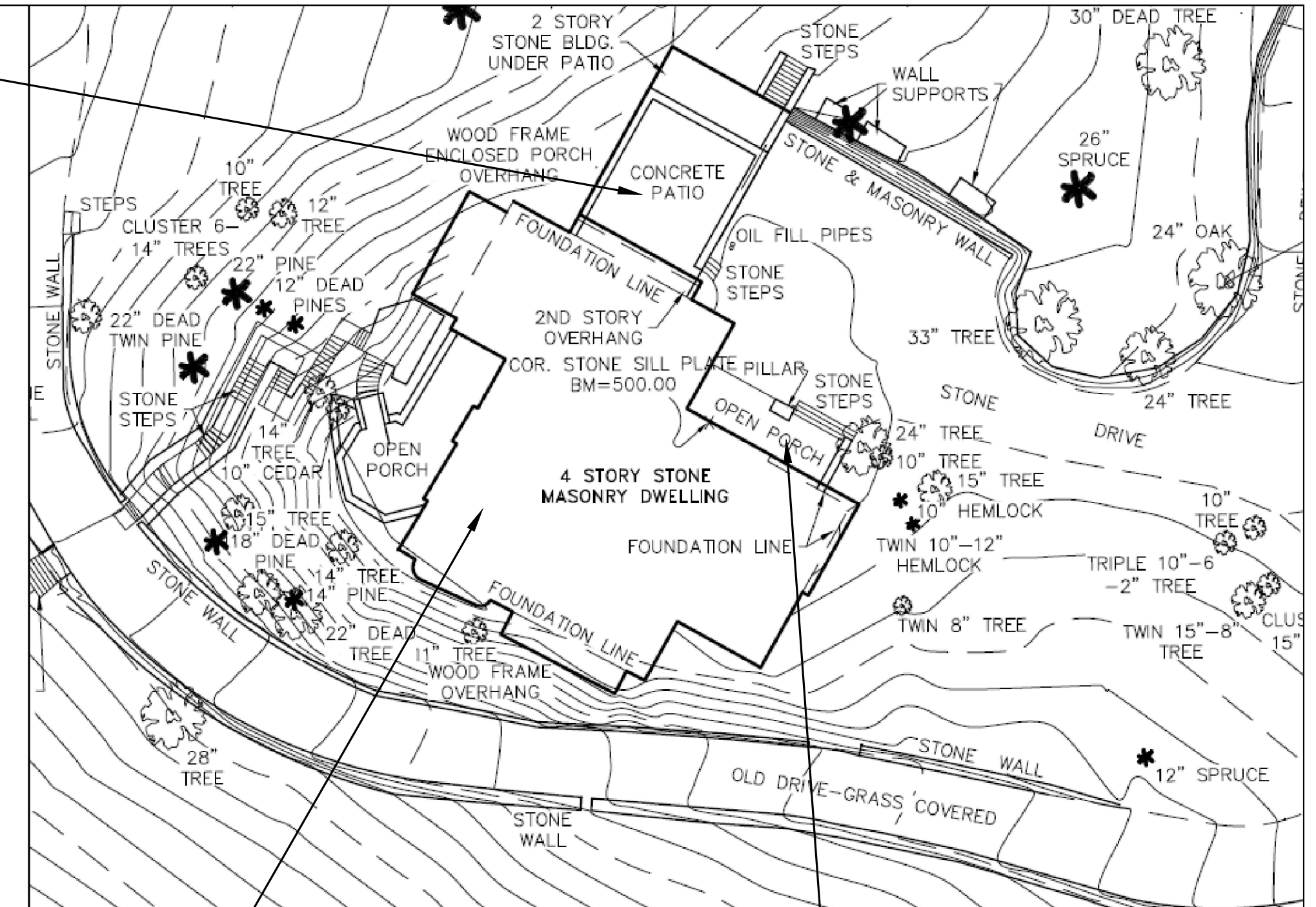
**FRONT ENTRANCE PAVER PATIO PLAN**  
SCALE: 1/4" = 1'-0"



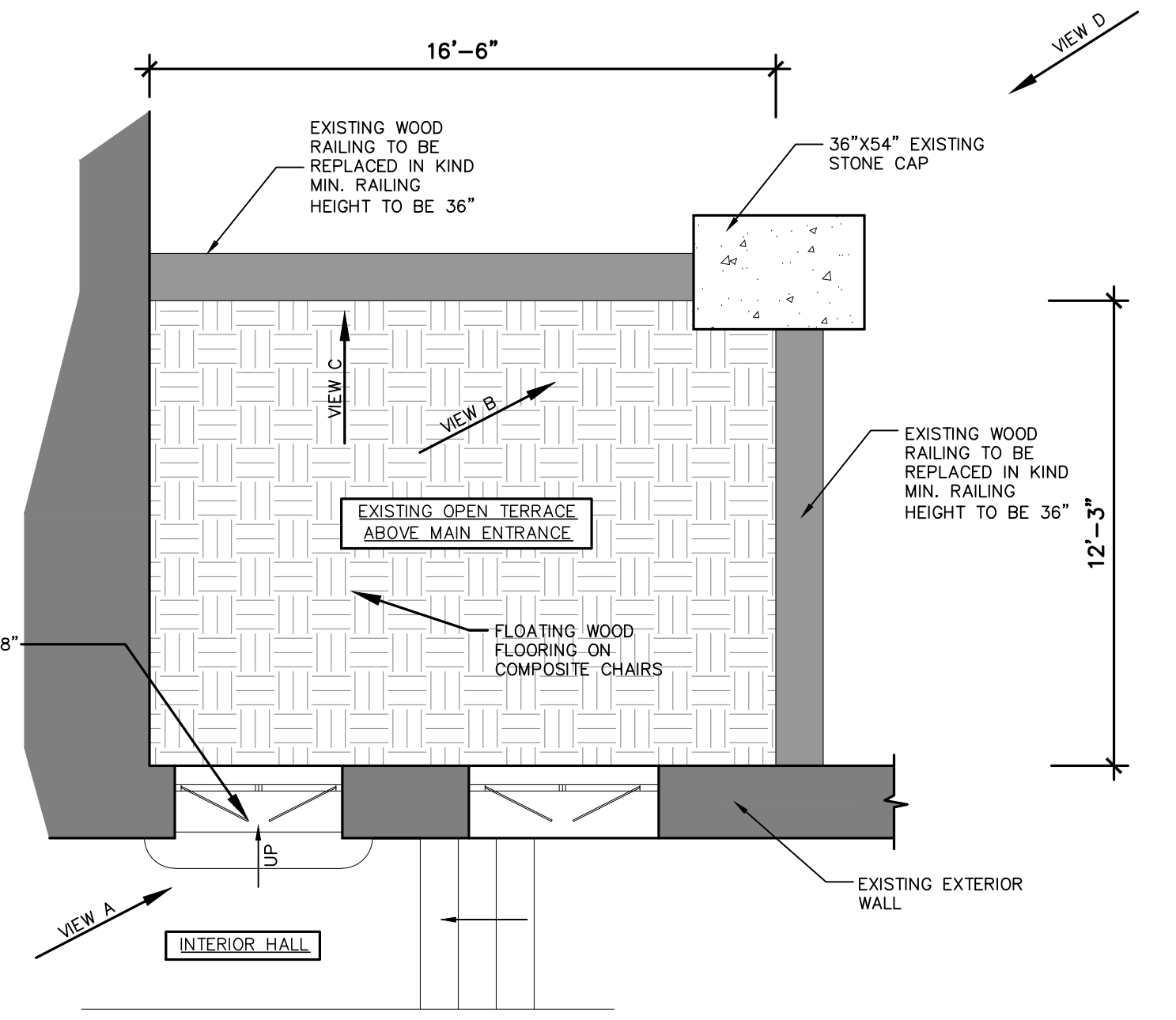
**SAMPLE PAVER/TILE**  
SCALE: N.T.S.

PROPOSED 24"x24" PORCELAIN OUTDOOR PAVER APPROXIMATELY 260 SOFT

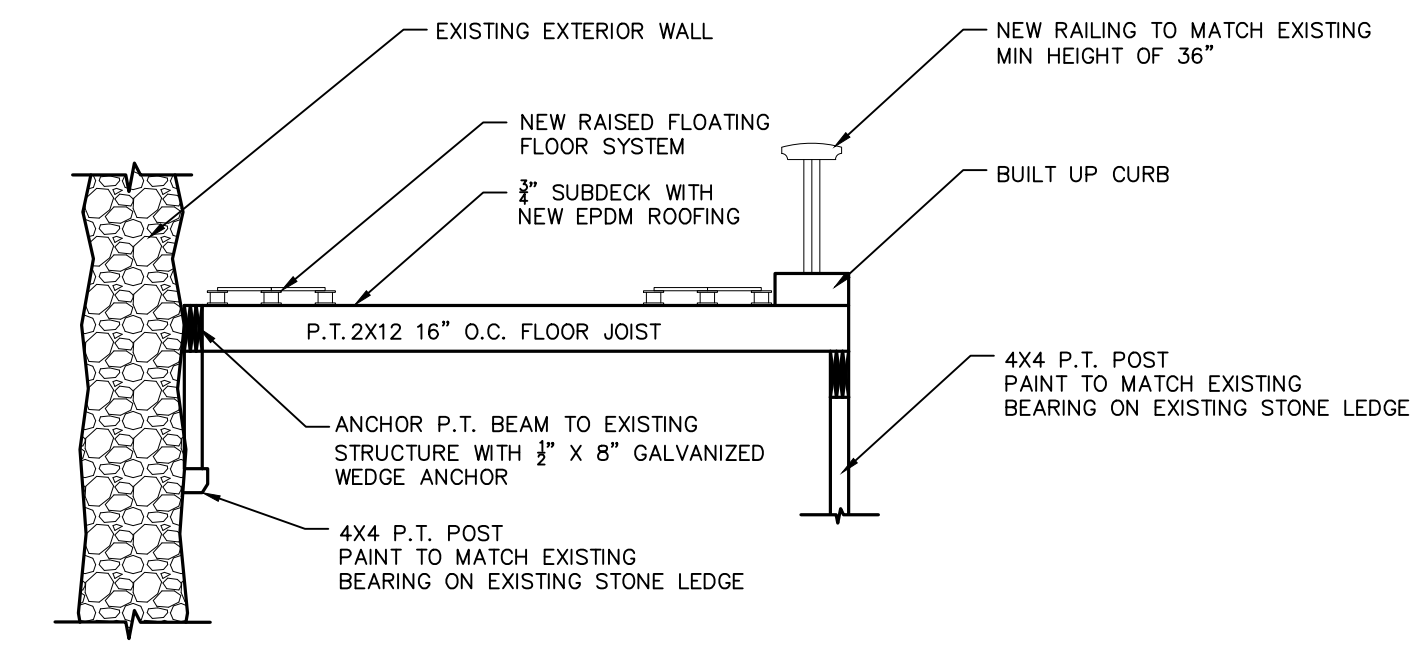
**FRONT PATIO**  
TILE TO REPLACE WITH 24"x24" TILE SEE PICTURE THIS SHEET APPROXIMATELY 750 SOFT



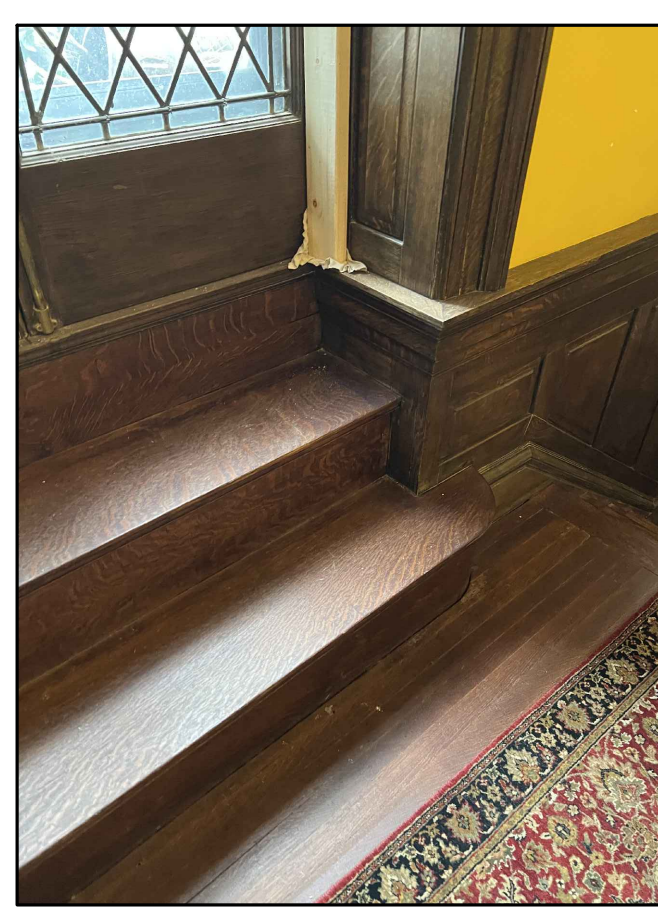
4TH FLOOR ROOF TERRACE FRONT ENTRANCE SECOND FLOOR TERRACE



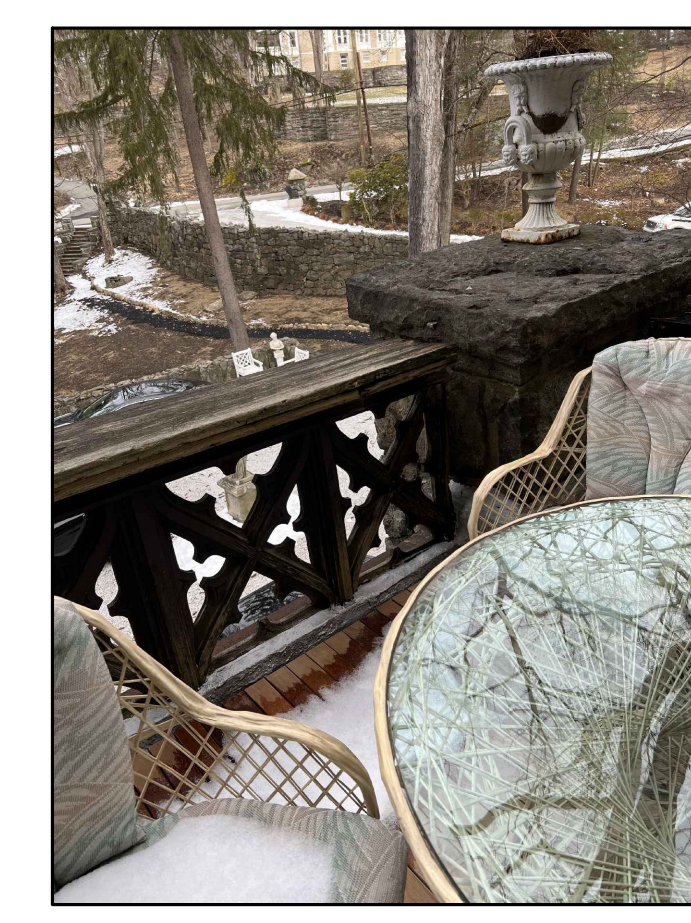
**FRONT ENTRANCE SECOND FLOOR TERRACE**  
SCALE: 1/4" = 1'-0"



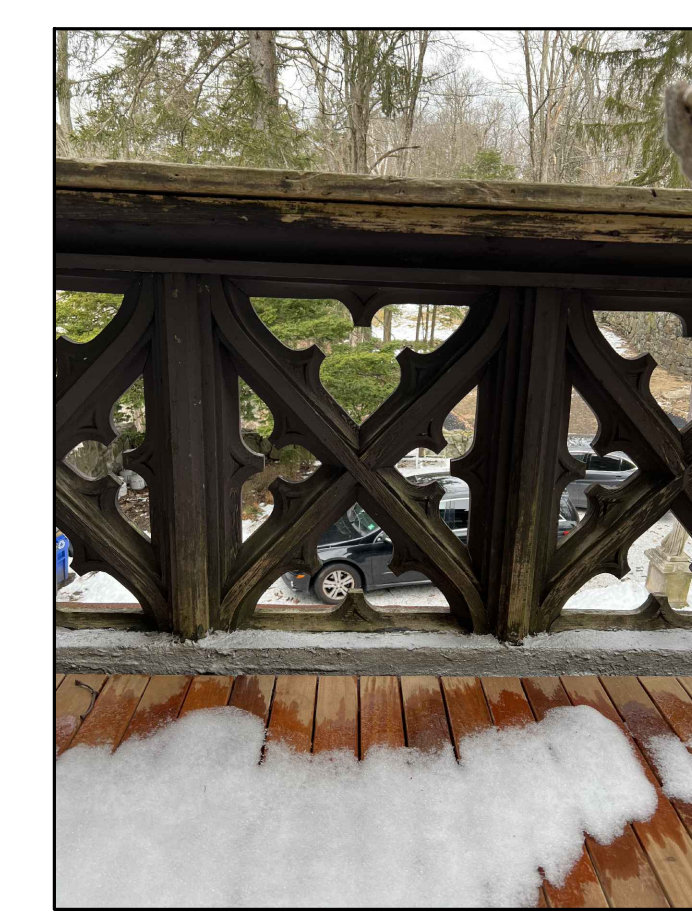
**SECTION A-A**  
SCALE: 1/4" = 1'-0"



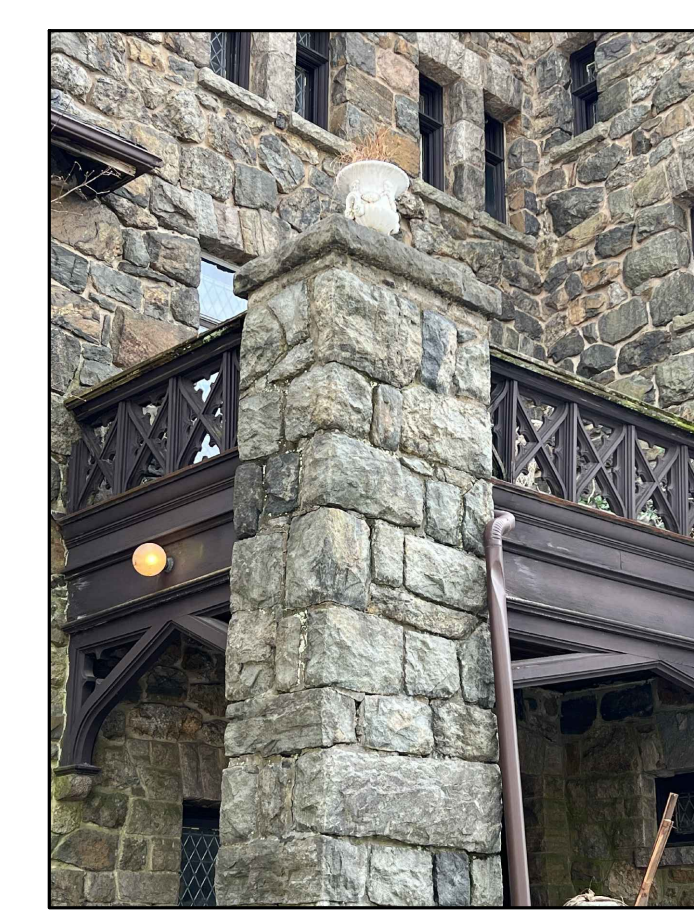
**VIEW 'A' ENTRY TO TERRACE**  
SCALE: N.T.S.



**VIEW 'B' RAIL AND PIER**  
SCALE: N.T.S.



**VIEW 'C' RAILING DETAIL**  
SCALE: N.T.S.



**VIEW 'D' ELEVATION**  
SCALE: N.T.S.

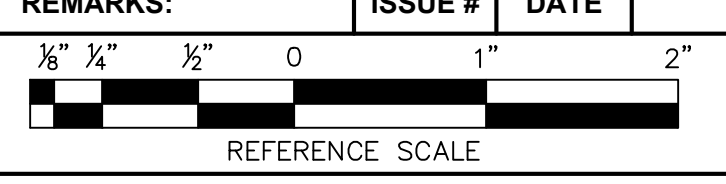
NOTE:  
CONTRACTOR TO REUSE EXISTING MATERIAL. CONSULT THIS ENGINEER TO DETERMINE STRUCTURE INTEGRITY. ALL RECONSTRUCTION SHALL BE PERIOD CORRECT. CONTRACTOR TO DOCUMENT ALL WOOD CLADDING ASSEMBLIES PRIOR TO REMOVAL.

**GENERAL SPECIFICATIONS**

- ALL WORK PERFORMED SHALL COMPLY WITH BUILDING AND ZONING ORDINANCE OF THE LOCAL AUTHORITY HAVING JURISDICTION, AND THE LATEST ADDITION OF THE IRC AND ALL APPLICABLE SUPPLEMENTAL CODES.
  - CONTRACTOR OR ANY SUBCONTRACTOR DOING ANY WORK UNDER THIS CONTRACT SHALL CARRY LIABILITY AND PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ALL KINDS AND SHALL FURNISH OWNER WITH CERTIFICATES OF INSURANCE.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS ON THESE PLANS AGAINST FIELD CONDITION PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER. ALL DIMENSIONS AND LOCATIONS AS-INDICATED ON THE DRAWINGS SHALL BE CONSIDERED AS REASONABLY CORRECT BUT IT SHALL BE UNDERSTOOD THAT THEY ARE SUBJECT TO MODIFICATION AS MAY BE NECESSARY OR DESIRABLE AT THE TIME OF INSTALLATION TO MEET ANY UNFORESEEN OR OTHER CONDITION.
  - ALL LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND DRY MATERIALS FREE FROM: ROT, LARGE & LOOSE KNOTS, SHAKES AND OTHER IMPERFECTIONS WHEREBY THE STRENGTH MAY BE IMPAIRED AND OF SIZES INDICATED ON DRAWINGS. STUDS, SILLS, POSTS, LINTELS AND RAFTERS SHALL HEM-FIR (19% MAX. MOISTURE CONTENT) ALLOWING 75% NO. 1 GRADE AND 25% NO. 2 GRADE EXCEPT IF NOTED OTHERWISE HEREINAFTER IN THIS SPEC OR ON THE DRAWINGS.
    - A. THE MINIMUM UNIT STRESS OF SPRUCE-PINE-FIR SHALL BE:  
GRADE: No. 1/ No. 2  
FIBER STRESS (FB) 875 PSI  
HORIZONTAL SHEAR (FV) 70 PSI  
MODULE OF ELASTICITY (E) 1.4 PSI
    - B. THE MINIMUM UNIT STRESS OF DOUGLAS-FIR SHALL BE:  
GRADE: No. 1/ No. 2  
FIBER STRESS (FB) 825 PSI  
HORIZONTAL SHEAR (FV) 70 PSI  
MODULE OF ELASTICITY (E) 1.4 PSI
    - C. THE MINIMUM UNIT STRESS OF HEM-FIR SHALL BE:  
GRADE: No. 1/ No. 2  
FIBER STRESS (FB) 1000 PSI  
HORIZONTAL SHEAR (FV) 75 PSI  
MODULE OF ELASTICITY (E) 1.6 PSI
- CALCULATED DESIGN LOADS (ADD 10 PSF DEAD LOAD ALL SPANS EXCEPT ROOFS).  
ROOF 50 PSF SNOW LOAD  
FLOORS 40 PSF LIVE LOAD  
BEDROOMS & ATTICS 30 PSF LIVE LOAD  
DECKS 50 PSF LIVE LOAD  
GUARDRAILS & HANDRAILS 200 PSF HORIZONTAL POINT LOAD

"THESE PLANS AND SPECIFICATIONS ARE PREPARED IN ACCORDANCE WITH THE APPLICABLE STATE BUILDING CODES IN FORCE AT THE DATE NOTED IN THE TITLE BLOCK. IF THE CODES ARE AMENDED OR CHANGED BETWEEN THIS DATE AND THE BUILDING PERMIT DATE, THESE PLANS MUST BE REVIEWED AND REVISED AS APPLICABLE BY FUSCO ENGINEERING TO CONFORM TO THESE NEW CODES. IN ADDITION, IN NO CASE SHOULD THESE PLANS AND SPECIFICATIONS BE USED TO OBTAIN A BUILDING PERMIT MORE THAN ONE YEAR AFTER THE DATE NOTED IN THE TITLE BLOCK WITHOUT A FULL REVIEW BY FUSCO ENGINEERING AND REVISION OF THE DESIGN AS NECESSARY TO CONFORM TO NEW CODES AND STANDARDS."

| REV # | DATE | REMARKS: | ISSUE # | DATE | ISSUED FOR: |
|-------|------|----------|---------|------|-------------|
|       |      |          |         |      |             |
|       |      |          |         |      |             |
|       |      |          |         |      |             |



UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.

**FUSCO ENGINEERING & LAND SURVEYING, P.C.**  
CONSULTING ENGINEERS  
685 EAST MAIN ST.  
MIDDLETOWN, NY 10940  
PHONE: (845) 944-5883  
FAX: (845) 966-5885

PROJECT TITLE: **116 TOWER HILL RD**  
**Alberta Residence**  
Tuxedo Park NY

DRAWING TITLE: **FRONT ENTRANCE AND TERRACE RENO**

DESIGNED BY: AFF DRAWN BY: JH APPROVED BY: AFF DRAWING #: **A-1**

DATE: 3/13/23 SCALE: AS SHOWN FE PROJECT #: 22-332 PAGE 1 OF 9



