



PROJECT DIRECTORY

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CONTRACTOR

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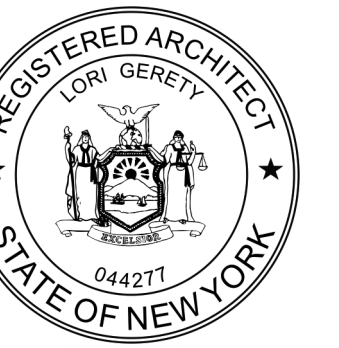
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GERETY RESIDENCE

32 Lookout Road Tuxedo
 Park NY 10987



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ISSUANCE INDEX

ID	NAME	DATE
1	BOARD OF ARCH REVIEW SET	5/3/23
2	BAR REVIEW SET - REVISION	5/16/23

GERETY RESIDENCE

32 Lookout Road Tuxedo Park NY 10987

BUILDING PERMIT NUMBER _____

CODE EDITIONS: 2015 IRC, NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, ZONING LAW OF THE VILLAGE, CODE OF THE VILLAGE OF TUXEDO PARK

SCOPE OF WORK INCLUDES: INTERIOR REMODEL OF A HISTORIC HOME

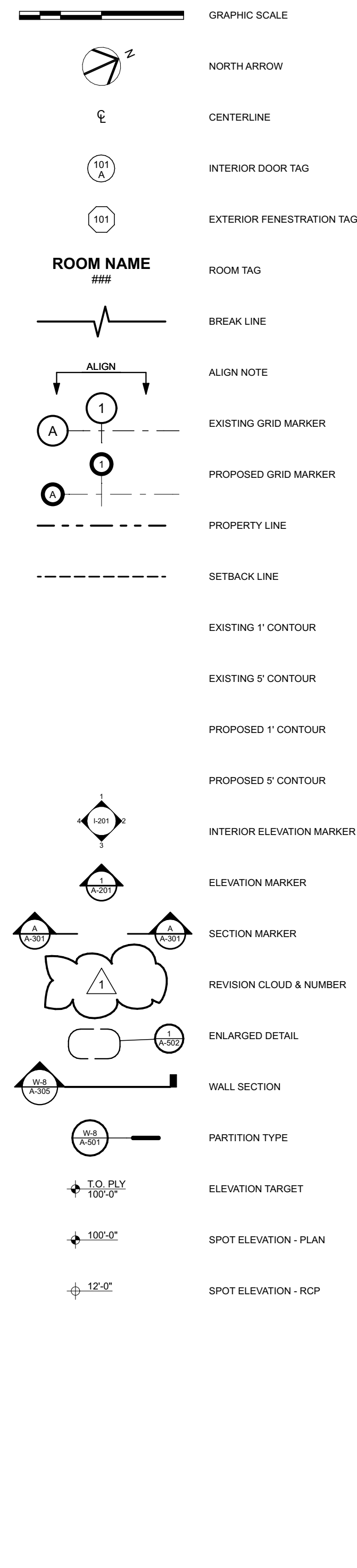
COVER

CVR

ABBREVIATIONS

ACT	Acoustical Ceiling Tile
ADJ	Adjustable
AFB	Above Finish Floor
AHU	Air-Handling Unit
ALUM	Aluminum
BIDS	Buildings
BM	Beam
BTWN	Between
CAB	Cabinet
CIP	Cast-in-Place
CJ	Control Joint
CL	Center Line
CMU	Concrete Masonry Unit
CLG	Ceiling
CLR	Clearance
CLO	Down
COL	Column
CONC	Concrete
CONST	Construction
CONT	Continuous
CPT	Carpet
DTL	Detail
DIA	Diameter
DN	Down
DM	Dimension
DRG	Drawing
EA	Each
EJ	Expansion Joint
ELEV	Elevation
ENC	Enclosure
EQ	Equal
EQUIP	Equipment
EXIST	Existing
EXP	Expansion
EXT	Exterior
FDN	Foundation
FF	Finish Floor
FIN	Finish
FLR	Floor
FLUOR	Fluorescent
FOC	Face of Concrete
FR	Face of Framing
FOM	Face of Masonry
FTG	Footing
FIXT	Fixture
FR	Fire-Rated
FT	Feed
GAINZD	Gainzoned
GC	General Contractor
GFCI	Ground Fault Circuit Interrupter
GR	Guard Rail
GWB	Gypsum Wall Board
HDW	Hardware
HORIZ(Z)	Horizontal
HR	Hard Riser
HVAC	Heating, Ventilation, Air-Conditioning
IN	Inch
INCLN	Inclined
INCL	Including
INS	Insulation
INT	Interior
LAM	Laminated
LAV	Lavatory
L(TO)	Lighting
MH	Manhole
MFR	Manufacturer
MAT	Material
MAX	Maximum
MECH	Mechanical
MIN	Minimum
MISC	Miscellaneous
MTL	Metal
NIC	Not in Contract
NTS	Not to Scale
NO	Number
OC	On Center
OPP	Opposite
OPPH	Opposite Hand
OH	Overhead
PT(D)	Paint(ed)
PL	Plate
PLY	Plywood
PC	Precast
PVC	Poly Vinyl Chloride
QTY	Quantity
R	Radius or Riser
RA	Return Air
RD	Roof Drain
RE	Refer to
REG	Register
RO	Rough Opening
REINF	Reinforced
REQ(D)	Required
REV	Revision
RM	Room
SC	Solid Core
SECT	Section
SG	Safety Glazing
SHWR	Showert
SIM	Similar
SPEC	Specification
SQ	Square
STD	Standard
STL	Steel
SS	Stainless Steel
STDR	Storage
SUSP	Suspended
SYM	Symmetrical
TEMP	Tempered, Temporary
TO	Top Of
TYP	Typical
UNO	Unless Noted Otherwise
UTIL	Utility
VIF	Verify in Field
W(O)	With(out)
WC	Water Closet
WD	Wood
WP(R)	Waterproof(ing)

SYMBOL LEGEND



BUILDING MATERIAL LEGEND

	AIR SPACE
	CARPET
	CARPET PADDING
	COMPACTED FILL
	CONCRETE WALL
	DRAINAGE MAT
	DRAINAGE RETENTION SYSTEM
	FOAM INSULATION
	FILTER FABRIC
	GRAVEL
	GYP
	LIGHTWEIGHT CONCRETE
	MORTAR
	PLANTING SOIL
	PLYWOOD
	RADIANT HEAT FLOOR SYSTEM
	RIGID INSULATION
	ROOF MEMBRANE
	ROOT BARRIER
	SHEATHING
	SLATE ROOFING
	SNOWMELT SYSTEM
	SOUND ISOLATION MAT
	STANDING SEAM METAL ROOFING
	STONE
	STONE VENEER
	STRUCTURAL CONCRETE
	TILE
	VAPOR BARRIER
	WATERPROOFING
	WOOD
	WOOD SIDING

PROJECT GENERAL NOTES

- GENERAL NOTES**
- All work and materials furnished shall comply with the current local building code and all requirements of Federal, State, and Municipal authorities having jurisdiction over the work at the time of permit issuance.
 - Before ordering any materials or doing any work, each trade shall verify all measurements at the building and shall be responsible for correctness at the same. No extra charge or compensation will be allowed on account of difference between actual dimensions and the measurements indicated on the drawings; any discrepancies between the drawings and field conditions which may be found shall be submitted to the architectural designer for consideration and clarification before proceeding with the work. The contractor shall be responsible for any deviations from the contract documents.
 - All the architectural designer's drawings and construction notes are complementary and what is called for by either will be binding as if called for by all; any work shown or referred to on any one drawing shall be provided as shown on all drawings.
 - The work to be performed consists of furnishing all labor, equipment, tools, transportation, supplies, fees, materials, and services in accordance with these notes and drawings; and includes performing all operations necessary to construct and install complete, in satisfactory condition, the various materials and equipment at the locations shown.
 - Full size or large scale details or drawings shall govern small scale drawings which they are intended to amplify.
 - The standard specifications of the manufacturer for products called for in drawings and notes are hereby made part of these notes with the same force and effect as though herein written out in full.
 - All materials required for the performance of this work shall be new and of the best quality of the kinds specified. The use of old or second-hand materials is strictly forbidden, except for locations on the drawings that refer to removal and relocation of materials or equipment. Materials shall be used in accordance with the manufacturer's specifications. The contractor shall submit all product warranties and complete all product installations in accordance with warranties.
 - The premises and job site shall be maintained in a reasonably neat and orderly condition and kept free from accumulation of waste materials and rubbish during the entire construction period. The contractor shall remove all crates, cartons and other trash from the work areas each day and shall be responsible for its proper disposal. The premises shall be protected throughout construction and shall be turned over in spotless and orderly condition. All fixtures and equipment will be left in undamaged, bright, clean, and ready condition.
 - All work shall be subject to final inspection by the architectural designer.
 - All plumbing and electrical work shall be performed by persons licensed in their trades.
 - The contractor will abide by all the rules and regulations set forth by the building's legal managing agent, noting particularly any restrictions on noise, use of public entries, use of power tools, timely and proper debris removal, materials, storage, and established working hours.
 - No portion of the construction operations shall require a shop drawing or a sample submission until the submission has been reviewed and approved by the contractor then reviewed and approved for design intent only by the architectural designer. All such construction operations shall be in accordance with reviewed shop drawings and samples.
 - Shop drawings are required for all shop fabricated work. This work includes, but is not limited to, exterior and interior finish materials, structural and decorative steel, and built-in cabinetry.
 - Product submittals are required for all individually specified products, including but not limited to, doors, windows, electrical fixtures, plumbing, appliances, and hardware.
 - The contractor is responsible for providing all access panels as required by governing codes to all voids, attics, etc. The contractor must verify the type required with the architect prior to installation of said panels. The contractor must weather strip all access panels as required by building code.
 - Drawings not to be scaled. Any discrepancy or dimension not given shall be brought to architect's attention for clarification prior to construction.
 - Coordinate roof penetration flashing, insulation with roofing and installation of items penetrating roof. All penetrations to be ganged to lowest and located to least visible location.
 - The contractor assumes responsibility for any damage, including but not limited to structural failure or water ingress, resulting from deviation from assemblies detailed on A-501 ASSEMBLIES sheet in this drawing set.
 - If the contractor encounters or discovers an issue during construction that may prevent or alter execution of the project as drawn in architect's drawings, the contractor must contact the architect for resolution before proceeding with work. The contractor assumes responsibility for any damage related to the above issue if architect is not contacted for resolution, and likewise from deviation from architect's drawings. Once issued a formal A31 or RFI by the contractor, the architect has 10 business days to issue a response.

GENERAL DEMOLITION NOTES

- Demolition and removal of existing walls, partitions, ceilings, denoted as graphically indicated.
- Remove all existing mechanical, plumbing, piping and electrical components in their entirety where applicable and as graphically indicated.
- Work related to the exterior of the existing building is limited to the areas noted and graphically indicated on the drawings. Any other exterior work shall not be initiated without the prior written consent and knowledge of the building authority and architectural designer.
- The contractor shall provide all required protection and measures throughout the demolition and removal work for the existing exterior of the building, the existing interior space to remain and the existing adjacent finishes and items which are not in contract.
- The performance of any demolition work by the contractor or any sub-contractor shall be executed in accordance with the building code of the local jurisdiction and all other applicable codes and regulations.
- The contractor shall obtain, prior to the commencement of the demolition work and with the consent of the base building management and owner of such work, all legal and regulatory permits as may be required for demolition, containing, cutting, hauling, public way access or closing, and the disconnection and shut-off of all utilities as may be required.
- The contractor is required to repair any imperfections to existing surfaces caused by the demolition process with the same of like materials unless specifically indicated otherwise on the drawings and/or specifications.
- The contractor shall remove door & jamb sets as indicated on drawings & save for eventual reinstallation.
- The contractor shall remove light fixtures & mechanical grills as indicated on drawings and save for eventual re-installation.
- During and following demolition, each contractor shall be responsible for the removal from the premises all debris and products of the demolition not designated for reuse. The site shall be left broom clean at the end of each working day.
- Refuse from construction operations is the sole responsibility and expense of the contractor and the sub-contractors. Refuse shall be disposed of in separate dumpsters or bins maintained at an approved location in the front of the building. Dumpsters and bins must be removed on a weekly basis. Construction materials shall be maintained and stored on the site, with the approval of the building authority, or on the street during the course of delivery.

GENERAL SAFETY NOTES

- These drawings do not include necessary components for construction safety. The contractor is responsible to take all necessary precautions to insure the safety of the building, its occupants and the general public during construction.
- Construction work will be confined to the immediate area of work and will not create dust, dirt, or other such inconveniences to surrounding properties.
- Construction operations will not block sidewalks or means of egress for tenants of the adjacent buildings and neighboring properties without 30 hours prior written notification.
- Construction operations will not involve intrusion of heating, water, fire, steam, or electrical services to the other tenants of the building.
- Construction operations shall be restricted to the hours indicated by building authorities. Except in the case of emergency and notification of the building authority.
- The contractor and sub-contractors shall be responsible for any property damage of the building owner or the personal property of any persons of the building due to the construction operations.
- Street supervision shall be maintained at all times during the course of construction operations as to minimize inconvenience to persons of the building and adjacent properties.

FIRE SAFETY NOTES

- All building materials stored at the construction area, and/or in any area of the building area to be secured in a locked area. Access to such areas is to be controlled by the Owner and/or the General Contractor.
- All materials to be stored in an orderly manner.
- All flammable materials to be kept tightly sealed in their respective containers. Such materials are to be kept away from all heat sources.
- All flammable materials to be used and stored in adequately ventilated spaces.
- All electrical power to be shut off where there is exposed conduit.
- All electrical power in the construction area to be shut off after working hours.
- The contractor will, at all times, make sure there is no leakage of natural gas in the building, or any flammable gas used in construction.

GENERAL PLAN NOTES

- Building reference elevation 100' - 0" = T.O. Structure @ Main Level (Dining/Kitchen Level)
- All exterior frame walls to be 2x4 wood studs, typical unless otherwise noted. Insulate as shown on wall assemblies.
- All interior walls adjacent to concrete foundation walls to be 2x4 wood studs with shim space to foundation walls, typical unless otherwise noted. Insulate as shown on wall assemblies.
- All interior frame walls to be 2x4 wood studs, typical unless otherwise noted.
- All interior stud walls & ceilings shall have sound attenuation batts, typical unless otherwise noted otherwise.
- All interior door jamb return to be 6" standard, or centered in the room, typical unless otherwise noted.
- All handrails and guardrails per code. Contractor to provide blocking as required.
- All windows adjacent to an exterior or interior door to be safety glazed. Window manufacturer to verify all locations as per applicable code.
- All glazing used in door and panes of bathtub/shower enclosures and building walls enclosing these compartments shall be safety glazed.
- All roof overhang dimensions are measured from the face of framing to structural fascia.
- All property lines, envelopes, setbacks, and easements are derived from a recorded plat and a project surveyor.

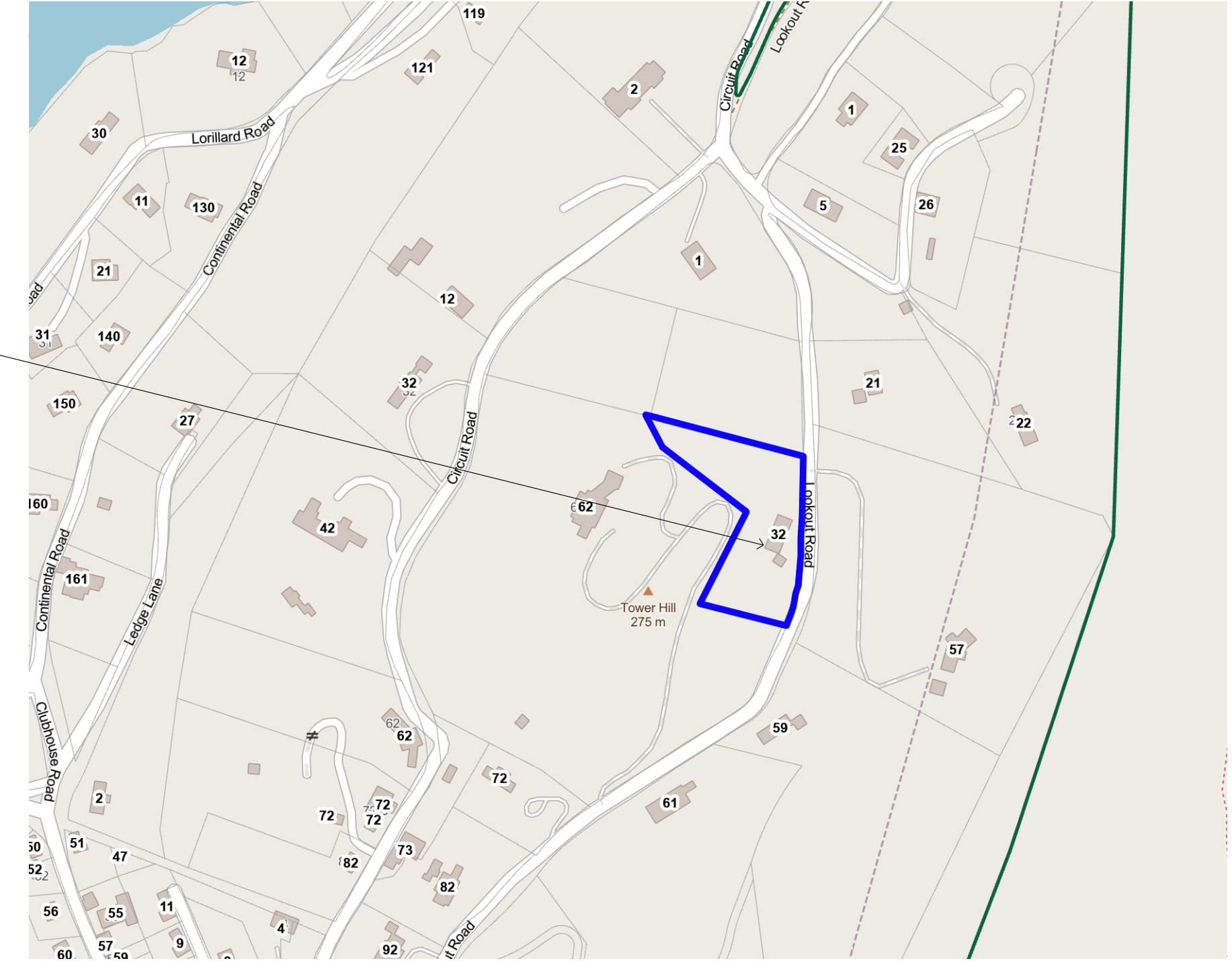
GENERAL ELECTRICAL NOTES

- All work done under this section shall comply with the current national electrical code and local code regulations. The contractor shall perform all work in conformity with these regulations whether or not such work is specifically shown on drawings.
- Electrical subcontractor to make all necessary electrical connections and responsible for all electrical service at the mechanical room electrical contractor to coordinate as required with mechanical subcontractor.
- The electrical contractor shall coordinate his work with the work of other trades and have his work scheduled as to not delay the work of others.
- The contractor shall be responsible for inspection and approval of wiring installation of future and equipment, and for final acceptance of the complete electrical installation by local electrical inspectors.
- All recessed downlights to be thermal rated and included in base bid with trim rings as specified by interior designer to match adjacent finish. Provide submittal of finish for approval prior to purchase.
- All switches to be at 5'0" above finish floor to center line of switch plate unless otherwise noted.
- Verify location and type of power for all appliances and mechanical equipment.
- Outlets within 36" of a sink in lavatory to be on a ground fault circuit interrupter. Additional GFCI.
- No switches or outlets within 5' - 0" of a shower or bath.
- Height of outlets from floor to center line of outlet to be 42" unless otherwise noted.
- Location of all floor outlets to be verified in the field by the owner.
- Provide for light near mechanical equipment in attics and crawl spaces.
- Provide blocking for ceiling fans and decorative light fixtures.
- Smoke and carbon monoxide detectors shall be located per code.

GENERAL SITE NOTES

- Builder to sculpt finish grade to provide proper drainage of surface water away from building as required.
- Utility line locations are approximate. General contractor to field verify for exact locations.
- Provide control and expansion joints as required on concrete drives, walks, and patios.
- All exterior HVAC equipment to be screened per local code, IBCA of subdivision requirements.
- Garbage receptacle to be stored in garage or screened from view and animals.
- All construction materials and waste to be stored on site during construction.
- No existing trees to be removed or disturbed without owner and local jurisdiction approval.
- All stumps and roots shall be removed from the soil to a depth of 12" below the surface of the ground in the area of the building.

PROJECT SITE



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GERETY RESIDENCE

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Park NY 10987



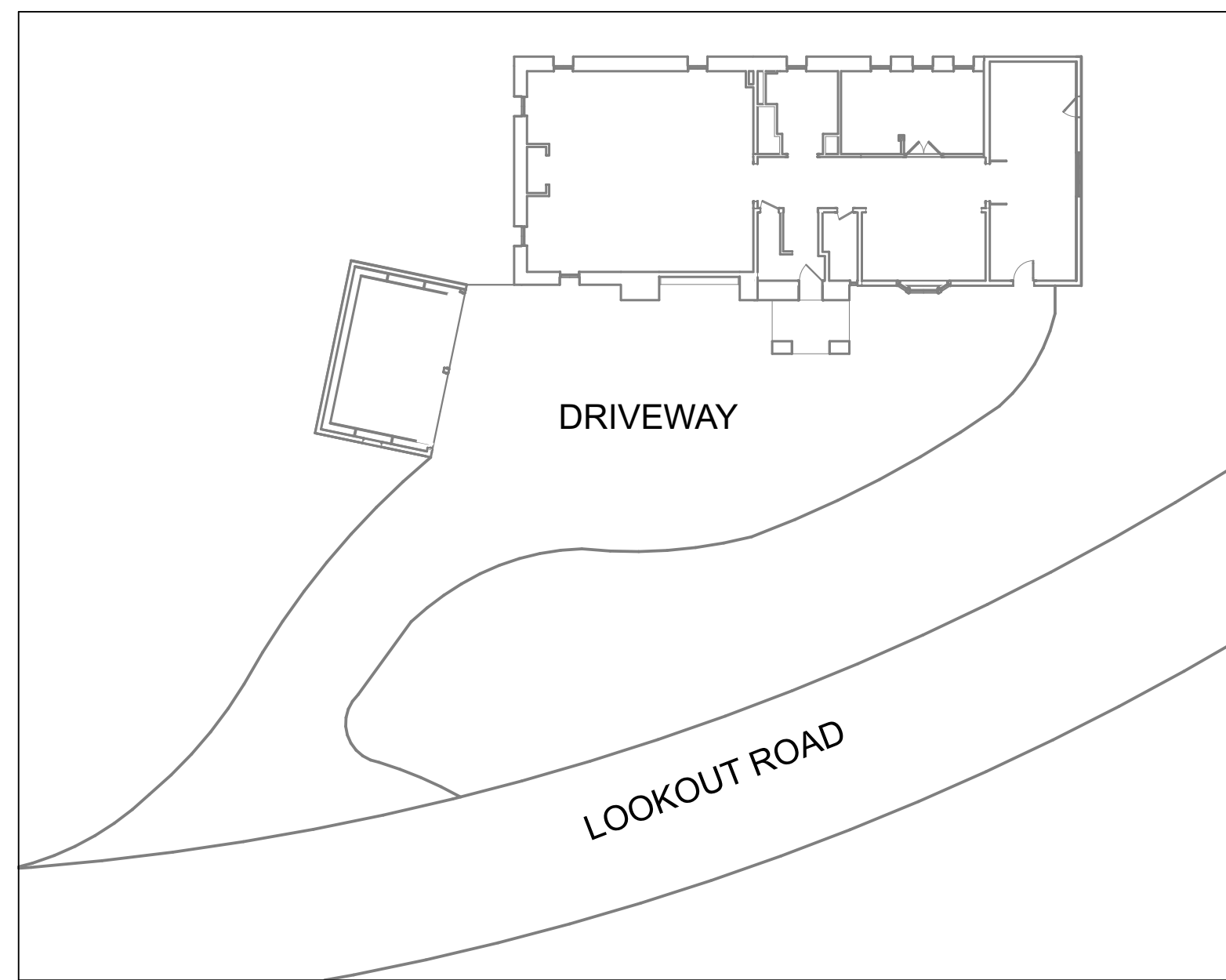
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ISSUANCE INDEX

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1	BOARD OF ARCH REVIEW SET	5/3/23
2	BAR REVIEW SET - REVISION	5/16/23

GENERAL NOTES

G-100



KEY PLAN
SCALE: 1" = 20'

GENERAL PLAN NOTES

- 1) EXISTING FRAMING & SHEATHING TO REMAIN AT AREAS NOT SHOWN AS DEMOLISHED. TYPICAL.
- 2) ALL DIMENSIONS TO EXISTING WALLS TO BE VERIFIED IN FIELD. TYPICAL.
- 3) IF DIMENSION NOT INDICATED - ALL DOORS TO EITHER BE CENTERED IN OPENING OR JAMB TO BE 5.5" AWAY FROM NEAREST WALL. TYPICAL.
- 4) EXISTING INTERIOR DOORS TO BE RELOCATED PER PLANS.



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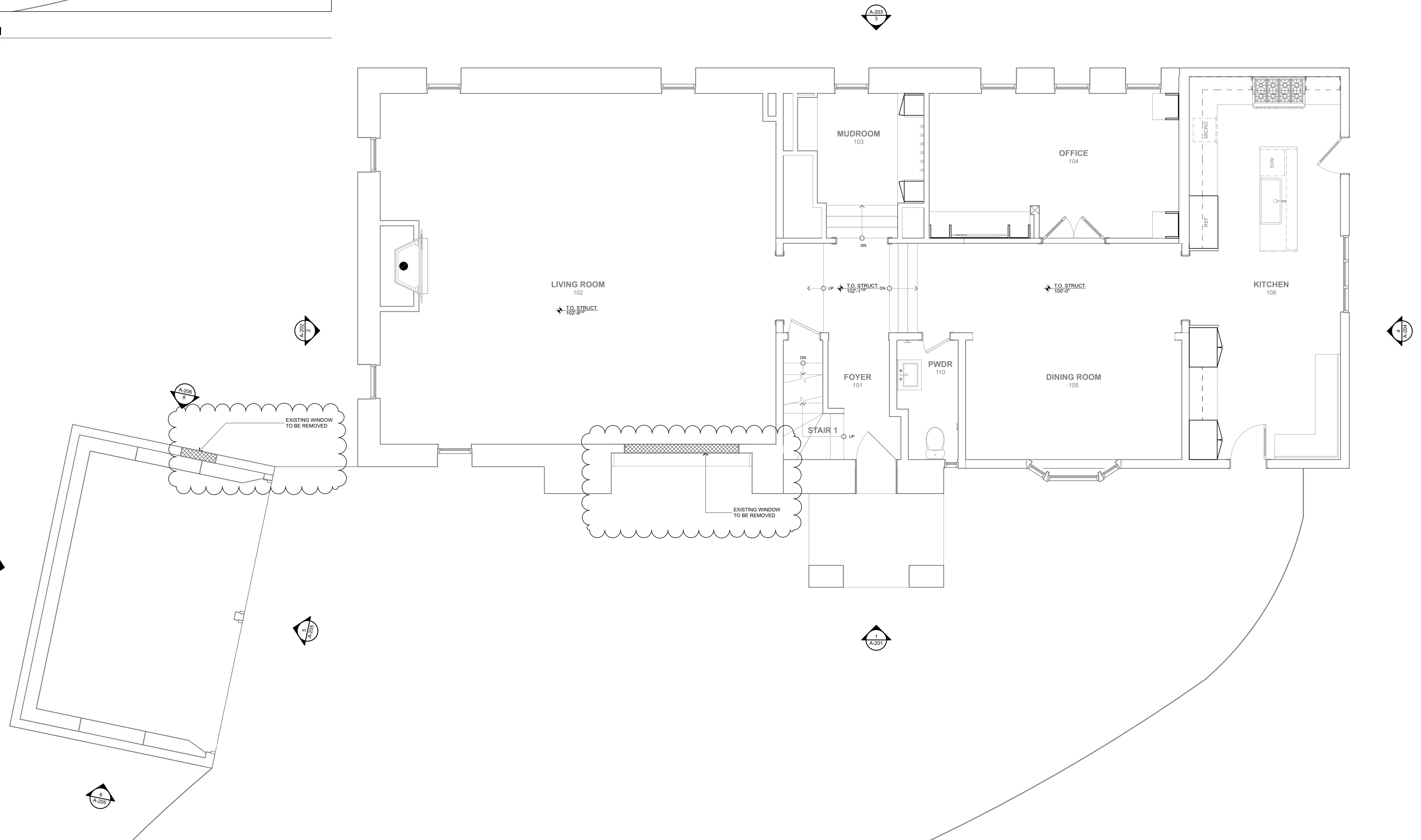
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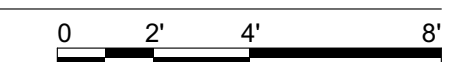
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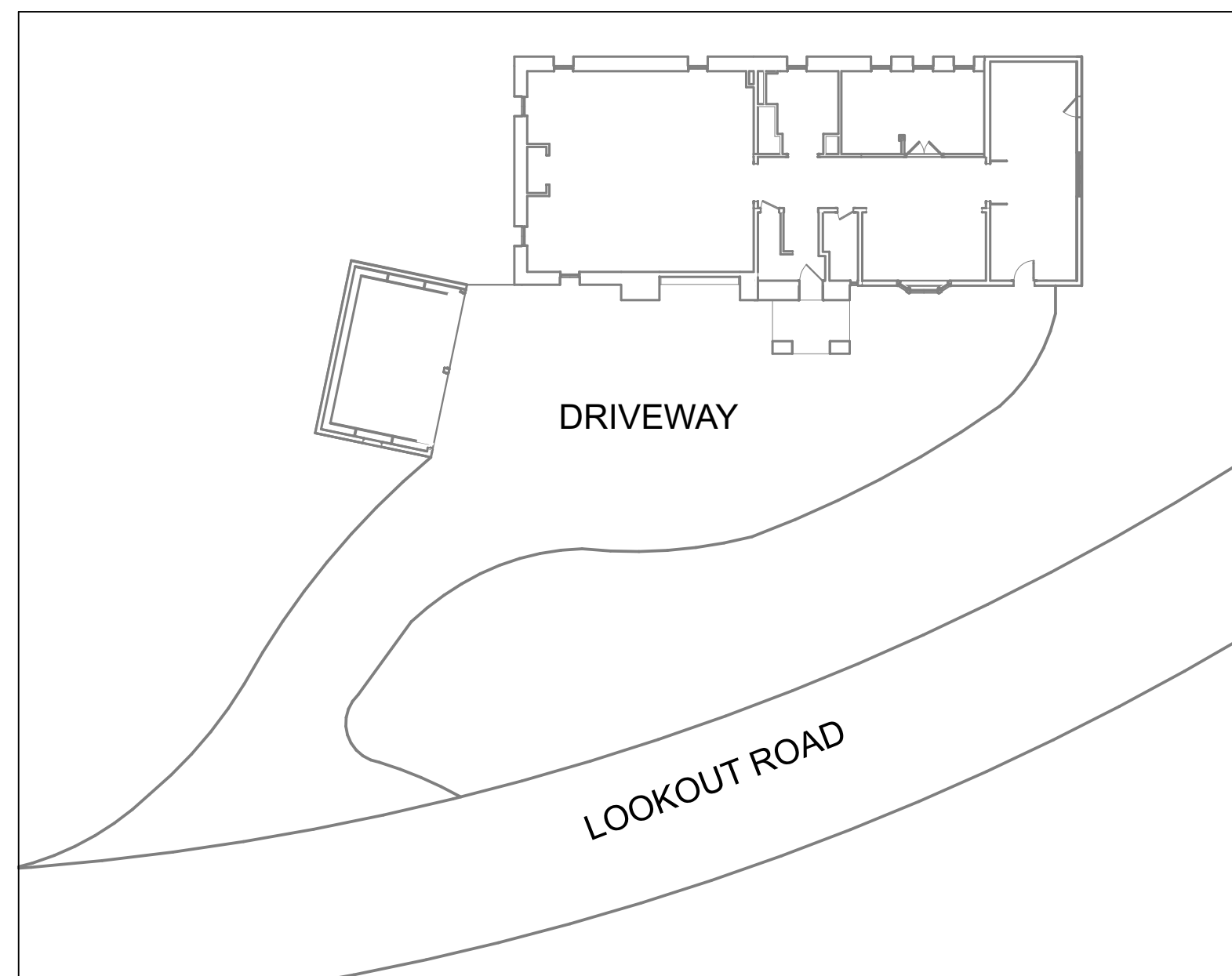


EXISTING MAIN LEVEL
SCALE: 1/4" = 1'-0"



EXISTING MAIN LEVEL

A-101X



KEY PLAN
SCALE: 1" = 20'

GENERAL PLAN NOTES

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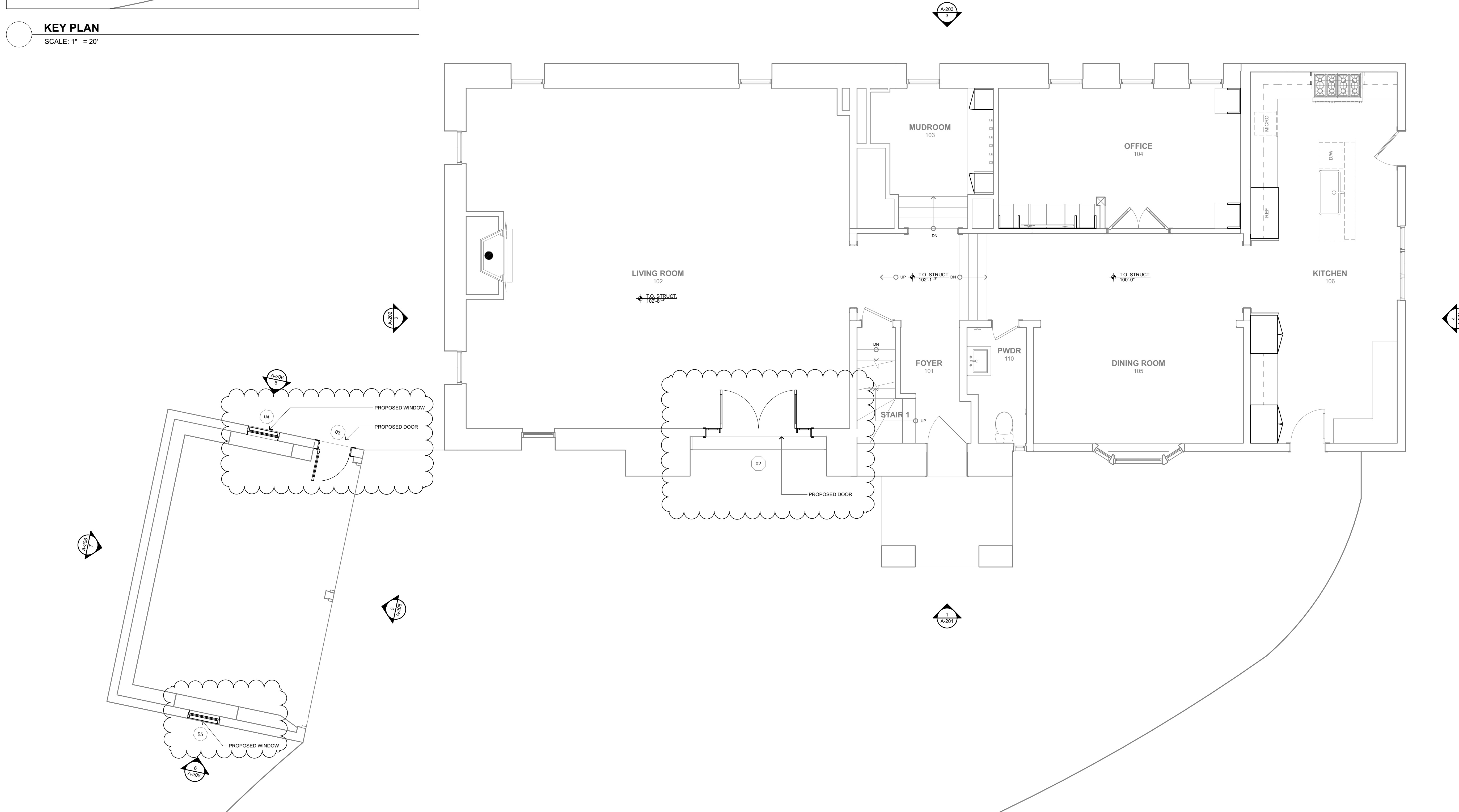
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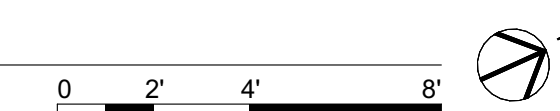
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PROPOSED MAIN LEVEL
SCALE: 1/4" = 1'-0"



PROPOSED MAIN LEVEL

A-101

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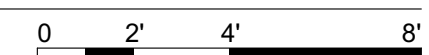
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1X EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



NO CHANGES TO THIS FACADE



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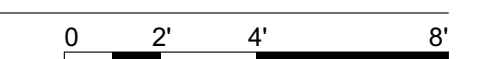
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2X EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



ELEVATIONS

A-202

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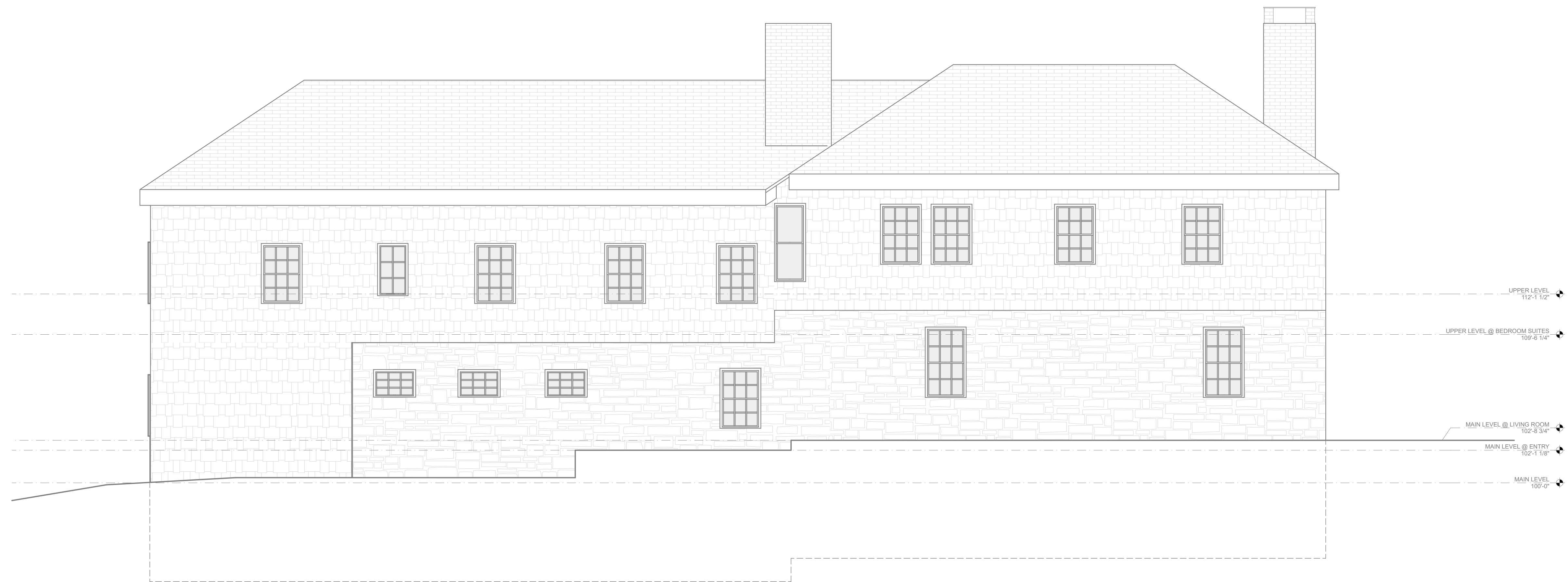
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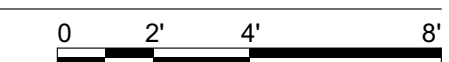
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3X EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



ELEVATIONS

A-203

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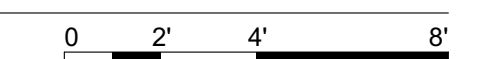
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4X EXISTING NORTH ELEVATION
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4 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

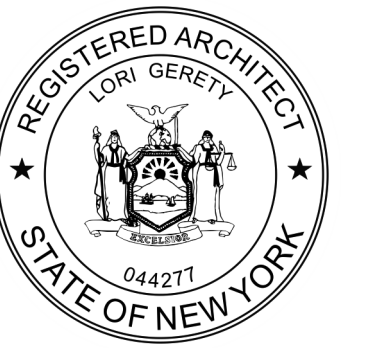


ELEVATIONS

A-204

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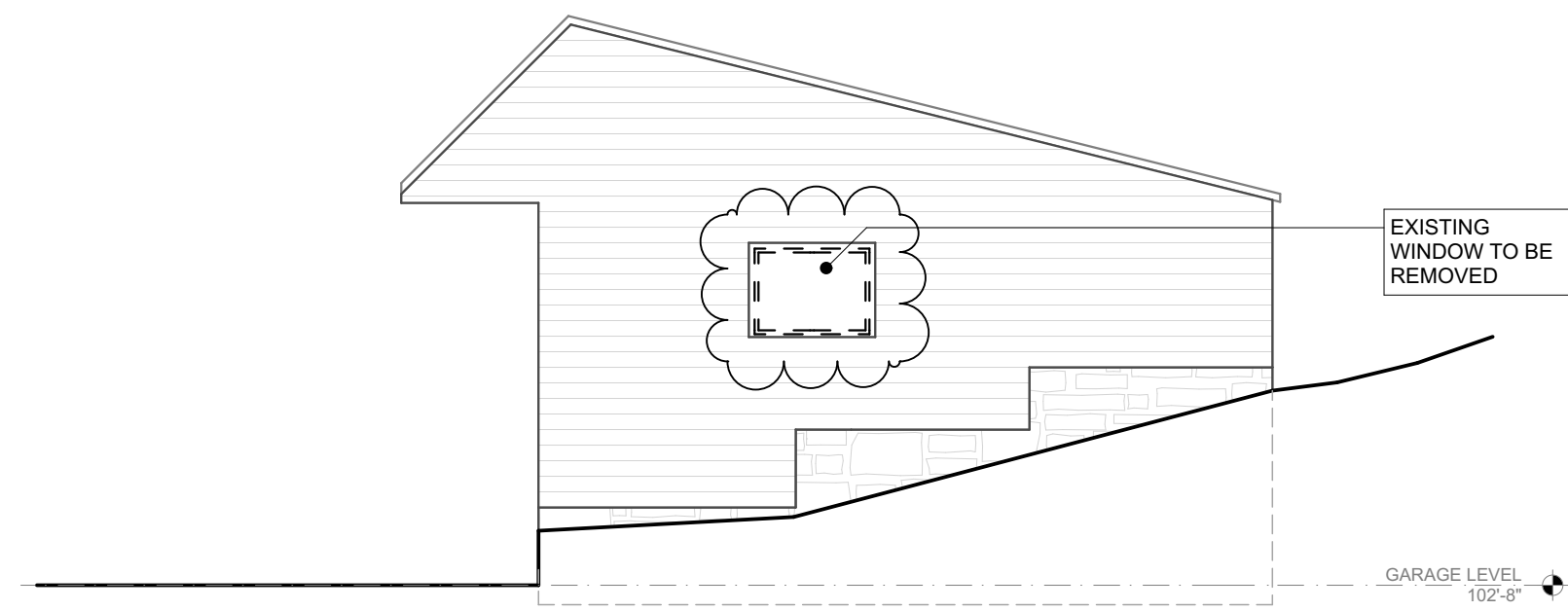
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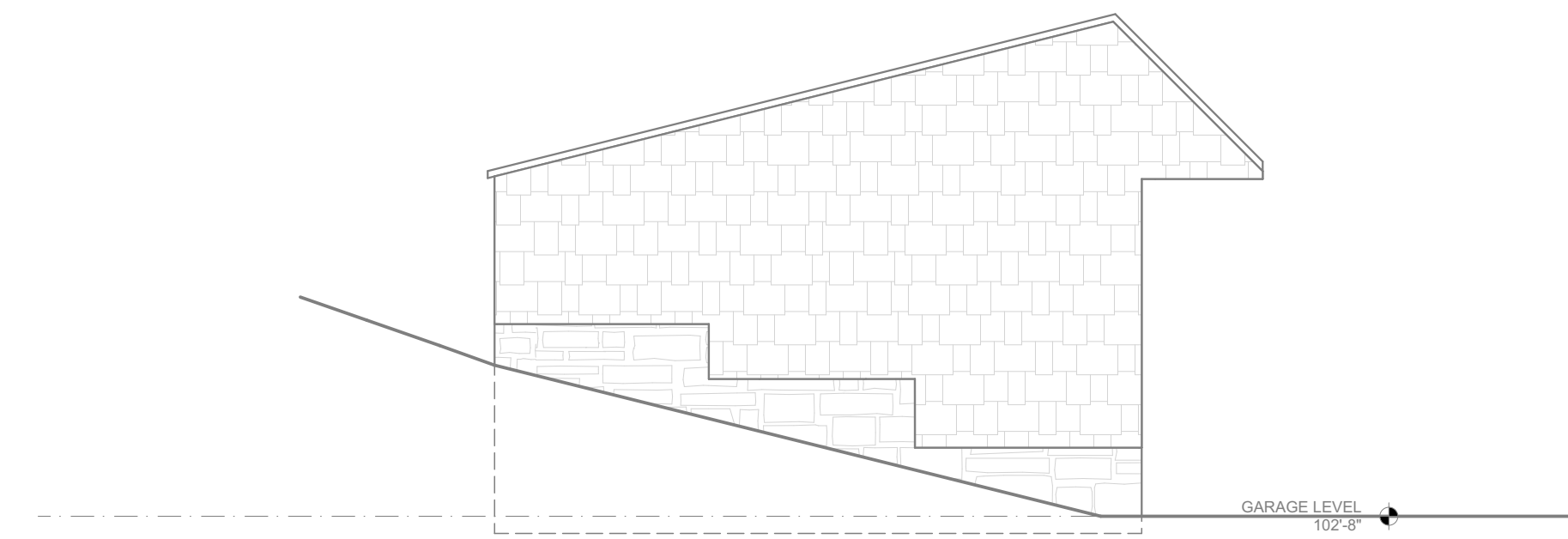
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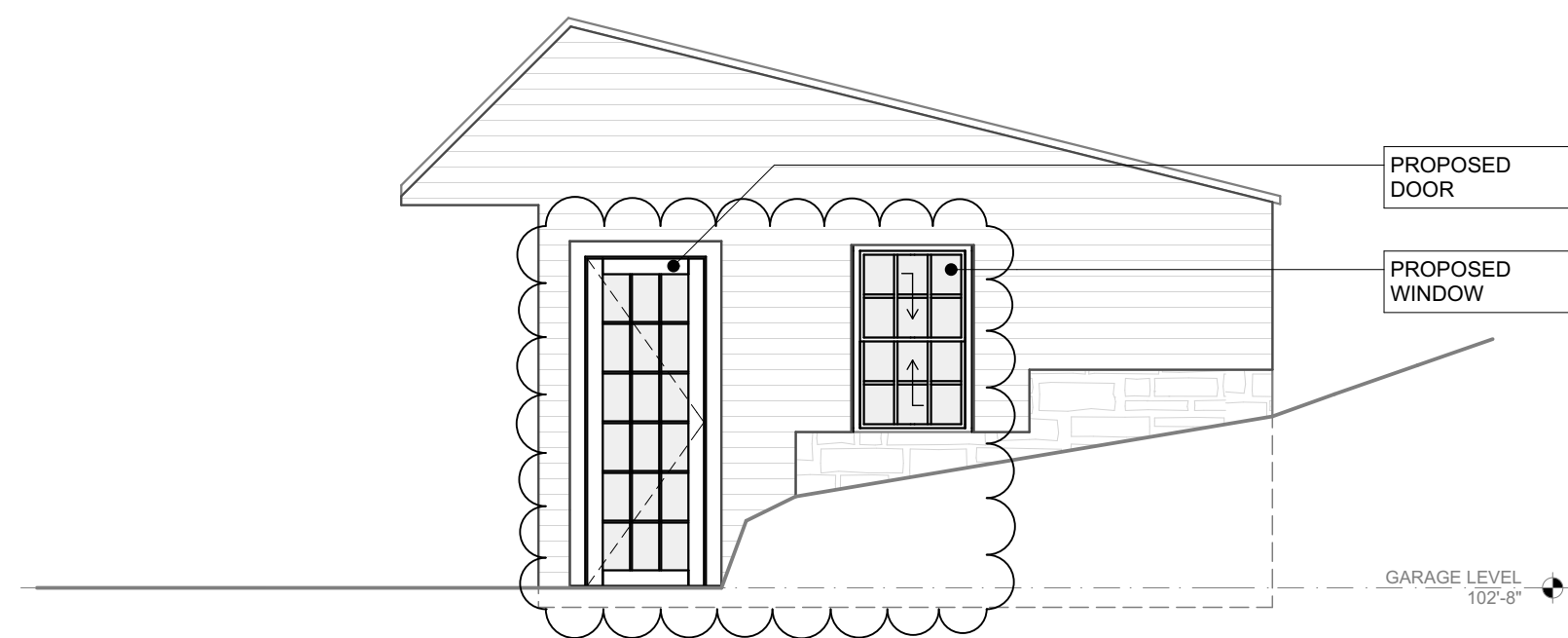
ID	NAME	DATE
1	BOARD OF ARCH REVIEW SET	5/3/23
2	BAR REVIEW SET - REVISION	5/16/23



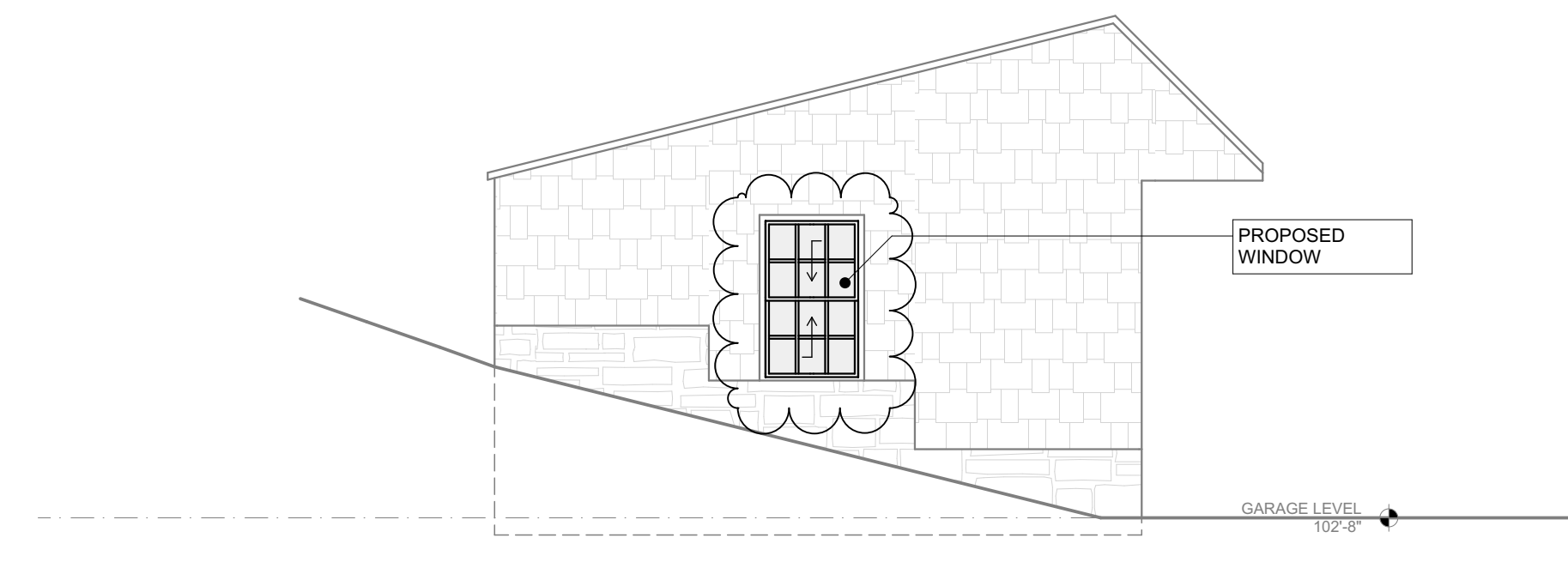
8X EXISTING WEST ELEVATION @ GARAGE
SCALE: 1/4" = 1'-0"



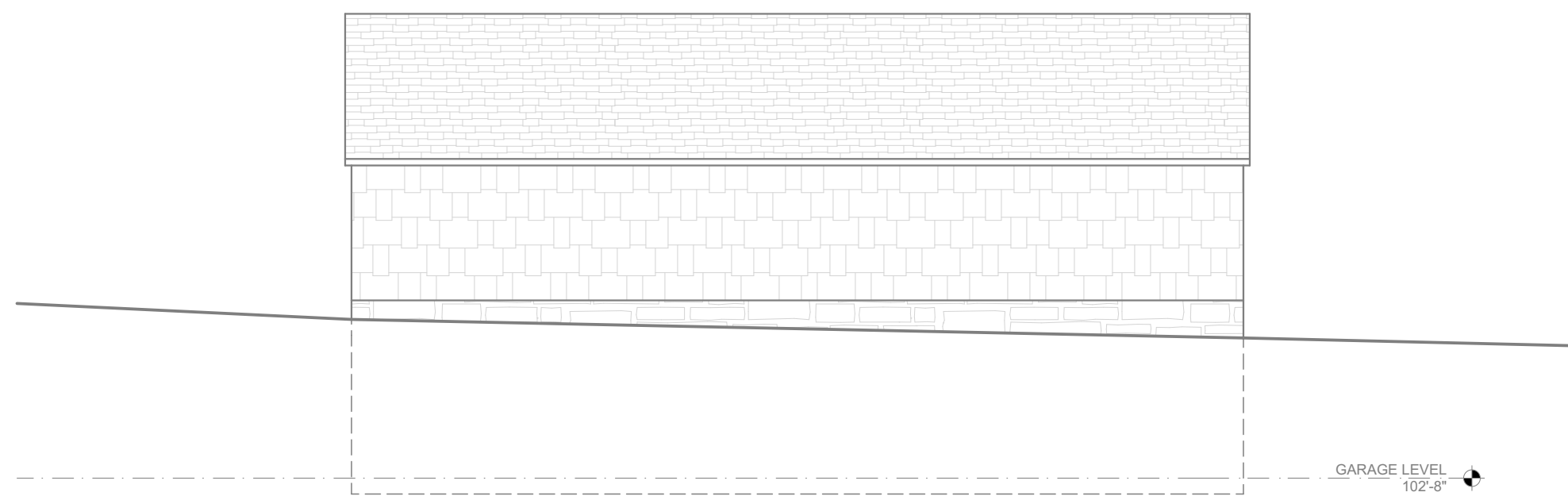
6X EXISTING EAST ELEVATION @ GARAGE
SCALE: 1/4" = 1'-0"



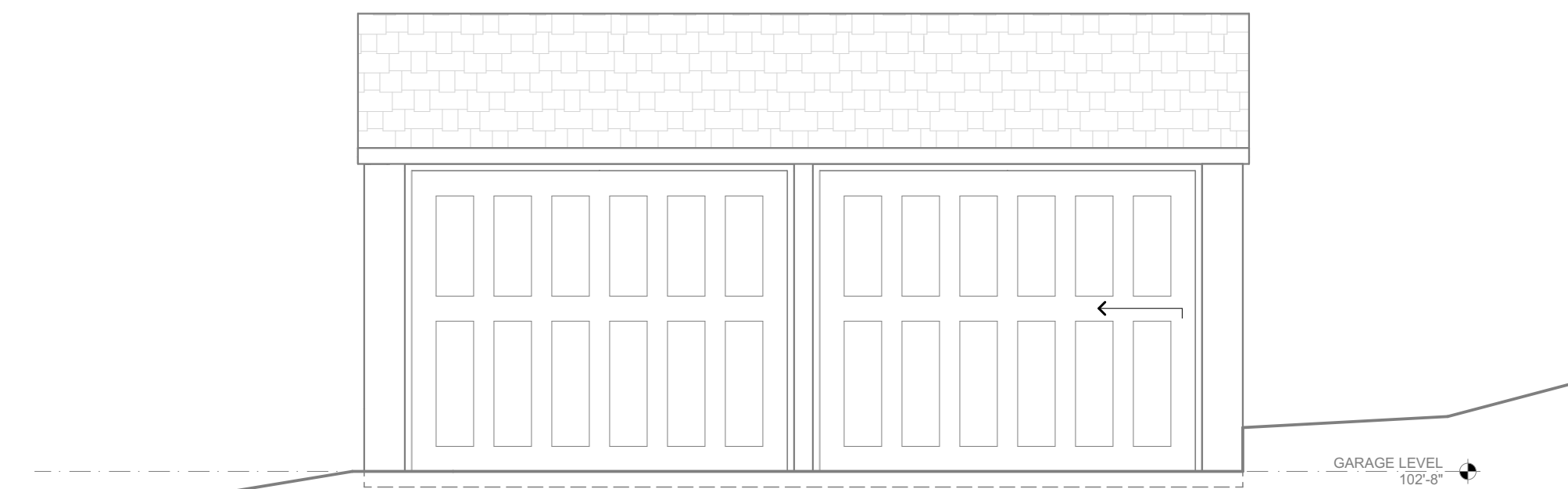
8 PROPOSED WEST ELEVATION @ GARAGE
SCALE: 1/4" = 1'-0"



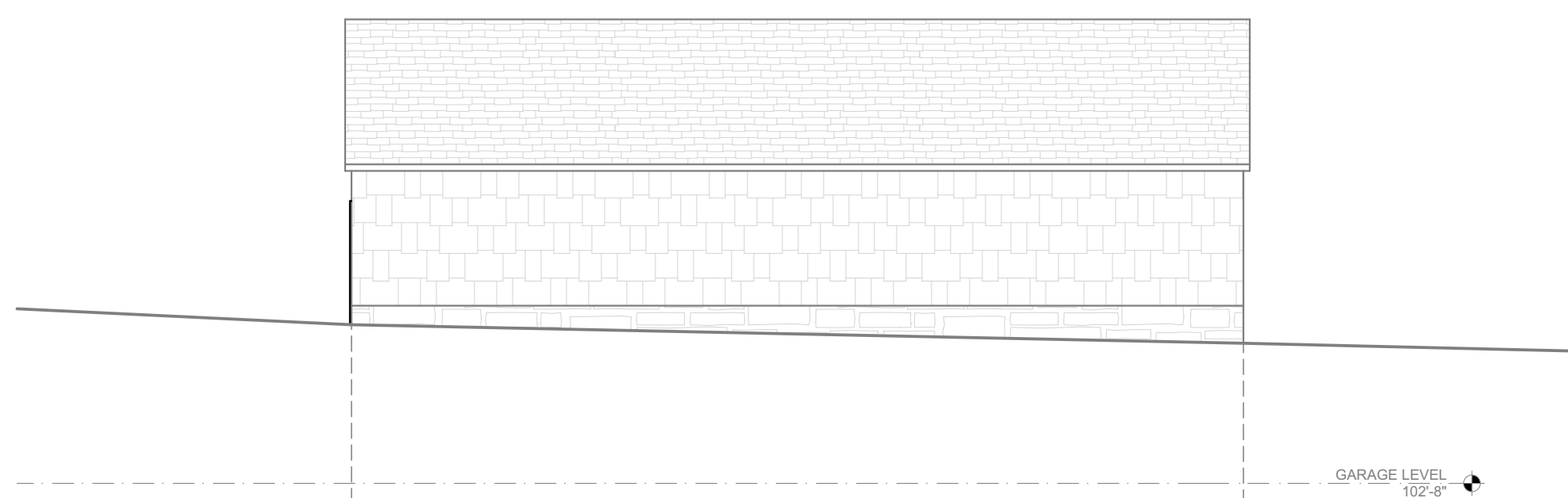
6 PROPOSED EAST ELEVATION @ GARAGE
SCALE: 1/4" = 1'-0"



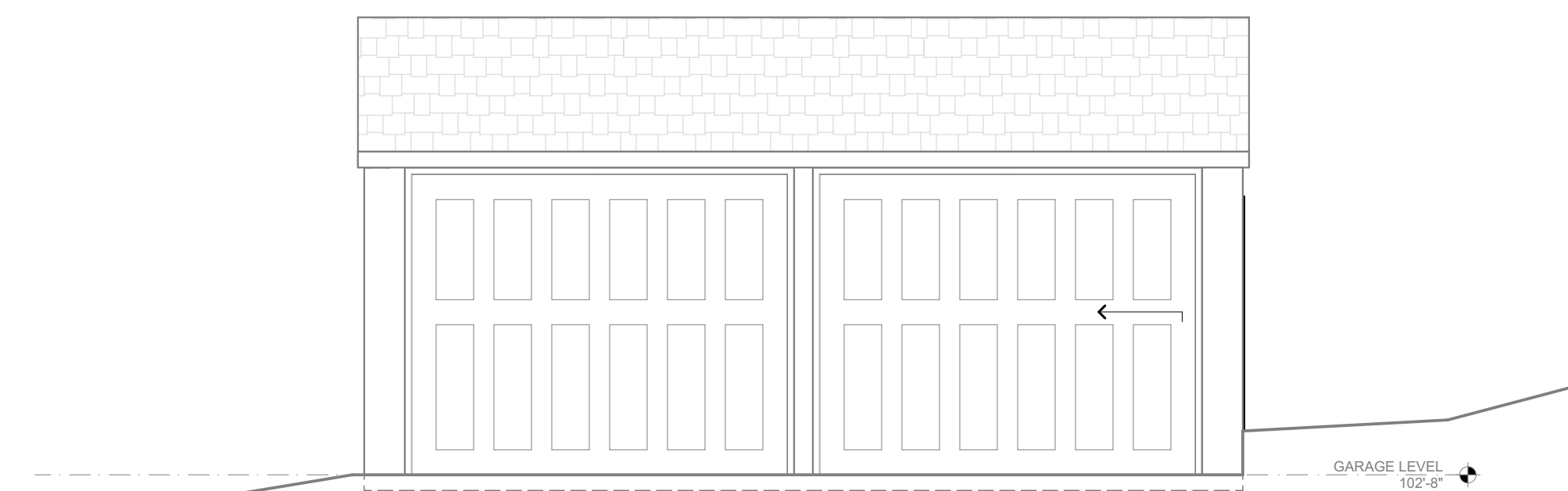
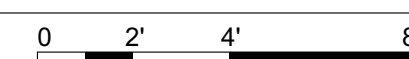
7X EXISTING SOUTH ELEVATION @ GARAGE
SCALE: 1/4" = 1'-0"



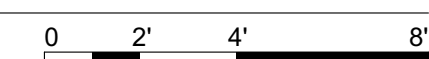
5X EXISTING NORTH ELEVATION @ GARAGE
SCALE: 1/4" = 1'-0"



7 PROPOSED SOUTH ELEVATION @ GARAGE
SCALE: 1/4" = 1'-0"



5 PROPOSED NORTH ELEVATION @ GARAGE
SCALE: 1/4" = 1'-0"





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ISSUANCE INDEX

ID	NAME	DATE
1	BOARD OF ARCH REVIEW SET	5/3/23
2	BAR REVIEW SET - REVISION	5/16/23

DOOR NUMBER	02	03	04	05
OPERATION TYPE	HINGED	HINGED	DOUBLE HUNG	DOUBLE HUNG
UNIT SIZE	6'-0" x 7'-0"	2'-6" x 7'-0"	2'-6" x 4'-0"	2'-6" x 4'-0"
HEAD HEIGHT (ABOVE FINISH FLOOR)	7'-1"	7'-1"	7'-1"	7'-1"
NOTES	FRENCH DOOR W/ SIDELITES			
MANUFACTURER	MARVIN - ULTIMATE WOOD SWINGING FRENCH DOOR & FIXED SIDELITE WINDOWS W/ SIMULATED DIVIDED LITES	MARVIN - ULTIMATE WOOD SWINGING DOOR W/ SIMULATED DIVIDED LITES	MARVIN - ULTIMATE WOOD WINDOW W/ SIMULATED DIVIDED LITES	MARVIN - ULTIMATE WOOD WINDOW W/ SIMULATED DIVIDED LITES
ELEVATION				

EXTERIOR FENESTRATION SCHEDULE

A-601